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**KRISTI CHLEBOWSKI
DANE COUNTY
REGISTER OF DEEDS**

**DOCUMENT #
4750942**

03/11/2011 11:40 AM

Trans. Fee:
Exempt #:
Rec. Fee: 30.00
Pages: 13

Document Number

**THIRD AMENDMENT TO
DECLARATION OF DESIGN GUIDELINES FOR THE
PLAT OF LIBERTY PLACE, IN THE CITY OF MADISON,
DANE COUNTY, WISCONSIN**

Return to:
Angie Christensen
Veridian Homes
6801 South Towne Drive
Madison, Wisconsin 53713

See Exhibit A
(Parcel Identification Number)

0110-341-0101-S

WHEREAS, Great Neighborhoods, Inc., a Wisconsin Corporation, Liberty Place Land, LLC, a Wisconsin Limited Liability Company and Veridian Homes, LLC, a Wisconsin Limited Liability Company (collectively, the Developer) of the plat of Liberty Place, City of Madison, Dane County, Wisconsin (the "Plat") caused to be placed of record that certain Declaration of Design Guidelines ("Declaration") on the Plat which Declaration was recorded on February 5, 2004, with the Dane County Register of Deeds Office as Document No. 3870243; amended on December 3, 2004, with the Dane County Register of Deeds office as Document No. 3997114 ("First Amendment"); and amended on September 27, 2006, with the Dane County Register of Deeds office as Document No. 4238975 ("Second Amendment"); and

WHEREAS, Developer is, as of the date hereof, the fee simple owner of more than one lot in the Plat and is desirous of amending certain provisions of the Declaration.

NOW, THEREFORE, Developer does hereby, for itself, its successors and assigns amend the Declaration as follows:

- 1) All capitalized terms as used herein, if not specifically defined herein, shall have the same definition as provided in the Declaration.
- 2) To clarify fence styles, Declaration of Design Guidelines, Part C, **Design Guidelines for Other Improvements**, Paragraph C-1), **Fences**, Subparagraph A), shall be deleted and replaced with the following:

"Fencing shall consist of wood and shall be stained or painted. Four styles of fencing are permitted and are detailed in Exhibits "E-1", "E-2", "E-3" and "E-4", attached.

- 3) To clarify fence colors, Declaration of Design Guidelines, Part C, **Design Guidelines for Other Improvements**, Paragraph C-1), **Fences**, Subparagraph A, Sub-Subparagraph (4) shall be deleted and replaced in its entirety with the following:

"Fencing colors shall be approved by the ACC. Fencing color is recommended to match the lighter of the home's trim or siding color.

Sub-subparagraphs (1) through (3) of Subparagraph A shall remain unchanged.

- 4) To clarify fence setbacks on corner lots, Declaration of Design Guidelines, Part C, **Design Guidelines for Other Improvements**, Paragraph C-1), **Fences**, Subparagraph B, Sub-Subparagraph (4) shall be deleted and replaced in its entirety with the following:

"Fencing at side yards of corner lots shall be placed a minimum of 5' from property line (approximately 6' from sidewalk) for all zoning classifications. A variance for fence placement to a minimum of 3' from property line (approximately 4' from sidewalk) may be granted if a landscaping plan consisting of a continuous bed of shrubs and/or perennial plants, mulched with bark or stone, is provided for the area between the fence and sidewalk.

Sub-subparagraphs (1) through (3) of Subparagraph B shall remain unchanged.

- 5) Except as herein specifically amended all other terms, conditions, covenants and restrictions shall remain unchanged.

{Signatures on next page}

IN WITNESS WHEREOF, the said Liberty Place Land, LLC and Great Neighborhoods, Inc. has caused these presents to be signed and sealed this 4th day of March, 2011

Liberty Place Land, LLC

By: VH Land, LLC, Its Sole Member

By: [Signature]
 Donald A. Esposito, Jr. Assistant Secretary

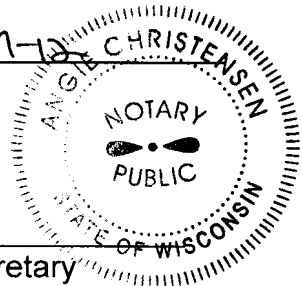
ACKNOWLEDGMENT

STATE OF WISCONSIN)
) ss
 COUNTY OF DANE)

Personally came before me this 4 day of March, 2011, Donald A. Esposito, Jr. the Assistant Secretary of VH Land, LLC a Wisconsin Limited Liability Company, which is the Sole Member of Liberty Place Land, LLC, a Wisconsin Limited Liability Company, to me known to be such person and officer who executed the foregoing instrument and acknowledged that they executed the same as such officers, by its authority for the purposes therein contained.

Name: Angie Christensen
 Notary Public Dane County, Wisconsin

My Commission Expires: 5-27-12



Great Neighborhoods, Inc.

By: [Signature]
 Donald A. Esposito, Jr. Assistant Secretary

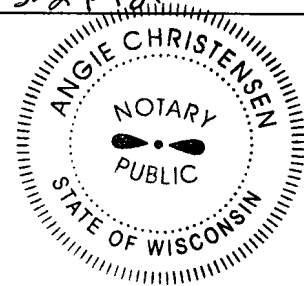
ACKNOWLEDGMENT

STATE OF WISCONSIN)
) ss
 COUNTY OF DANE)

Personally came before me this 4 day of March, 2011, Donald A. Esposito, Jr. the Assistant Secretary of Great Neighborhoods, Inc. a Wisconsin Limited Liability Company, to me known to be such person and officer who executed the foregoing instrument and acknowledged that they executed the same as such officers, by its authority for the purposes therein contained.

Name: Angie Christensen
 Notary Public Dane County, Wisconsin

My Commission Expires: 5-27-12



Document drafted by:
 Don Esposito
 Veridian Homes
 6801 South Towne Drive
 Madison, WI 53713

EXHIBIT A

LIBERTY PLACE

LOT NUMBER	PARCEL NUMBER	STREET ADDRESS
1	0710-341-0101-5	5101 UNITY WAY 4815 FREEDOM RING RD 1 KIRKWOOD CT
2	0710-341-0102-3	14 KIRKWOOD CT
3	0710-341-0103-1	10 KIRKWOOD CT
4	0710-341-0104-9	6 KIRKWOOD CT
5	0710-341-0105-7	2 KIRKWOOD CT 5125 UNITY WAY
6	0710-341-0106-5	5129 UNITY WAY
7	0710-341-0107-3	5135 UNITY WAY
8	0710-341-0108-1	5139 UNITY WAY
9	0710-341-0109-9	5147 UNITY WAY
10	0710-341-0110-6	5153 UNITY WAY
11	0710-341-0201-3	5164 UNITY WAY
12	0710-341-0202-1	5160 UNITY WAY
13	0710-341-0203-9	5156 UNITY WAY
14	0710-341-0204-7	5152 UNITY WAY
15	0710-341-0205-5	5148 UNITY WAY
16	0710-341-0206-3	5142 UNITY WAY
17	0710-341-0207-1	5138 UNITY WAY
18	0710-341-0208-9	5134 UNITY WAY
19	0710-341-0209-7	5130 UNITY WAY
20	0710-341-0210-4	5126 UNITY WAY
21	0710-341-0211-2	5122 UNITY WAY
22	0710-341-0212-0	5118 UNITY WAY
23	0710-341-0213-8	5114 UNITY WAY
24	0710-341-0214-6	5110 UNITY WAY
25	0710-341-0215-4	5102 UNITY WAY 4809 FREEDOM RING RD
26	0710-341-0216-2	4805 FREEDOM RING RD
27	0710-341-0217-0	4801 FREEDOM RING RD 5101 BRANDENBURG WAY
28	0710-341-0218-8	5105 BRANDENBURG WAY
29	0710-341-0219-6	5109 BRANDENBURG WAY
30	0710-341-0220-3	5115 BRANDENBURG WAY
31	0710-341-0221-1	5119 BRANDENBURG WAY
32	0710-341-0222-9	5123 BRANDENBURG WAY
33	0710-341-0223-7	5127 BRANDENBURG WAY

34	0710-341-0224-5	5131 BRANDENBURG WAY
35	0710-341-0225-3	5135 BRANDENBURG WAY
36	0710-341-0226-1	5139 BRANDENBURG WAY
37	0710-341-0227-9	5143 BRANDENBURG WAY
38	0710-341-0228-7	5151 BRANDENBURG WAY
39	0710-341-0229-5	5155 BRANDENBURG WAY
40	0710-341-0230-2	5159 BRANDENBURG WAY
41	0710-341-0231-0	5163 BRANDENBURG WAY
42	0710-341-0232-8	5167 BRANDENBURG WAY
43	0710-341-0233-6	5171 BRANDENBURG WAY
44	0710-341-0234-4	5175 BRANDENBURG WAY
OUTLOT 1	0710-341-0235-2	5147 BRANDENBURG WAY 5106 UNITY WAY
45	0710-341-0301-1	1 HONOR CT 5105 BRANDENBURG WAY
46	0710-341-0302-9	5 HONOR CT
47	0710-341-0303-7	9 HONOR CT
48	0710-341-0304-5	10 HONOR CT
49	0710-341-0305-3	6 HONOR CT
50	0710-341-0306-1	2 HONOR CT 5162 BRANDENBURG WAY
51	0710-341-0307-9	5154 BRANDENBURG WAY
52	0710-341-0308-7	5150 BRANDENBURG WAY
53	0710-341-0309-5	5144 BRANDENBURG WAY
54	0710-341-0310-2	5140 BRANDENBURG WAY
55	0710-341-0311-0	5136 BRANDENBURG WAY
56	0710-341-0312-8	5132 BRANDENBURG WAY
57	0710-341-0313-6	5126 BRANDENBURG WAY
58	0710-341-0314-4	5122 BRANDENBURG WAY
59	0710-341-0315-2	5114 BRANDENBURG WAY
60	0710-341-0316-0	5102 BRANDENBURG WAY
61	0710-341-0317-8	4831 VALOR WAY
62	0710-341-0318-6	4827 VALOR WAY
63	0710-341-0319-4	4823 VALOR WAY
64	0710-341-0320-1	4815 VALOR WAY
65	0710-341-0321-9	4801 VALOR WAY 4727 STAR SPANGLED TRL
66	0710-341-0322-7	4723 STAR SPANGLED TRL
67	0710-341-0323-5	4719 STAR SPANGLED TRL
68	0710-341-0324-3	4715 STAR SPANGLED TRL
69	0710-341-0325-1	4709 STAR SPANGLED TRL
70	0710-341-0326-9	4701 STAR SPANGLED TRL
O.L. 2 & 3	0710-341-0327-7	4665 STAR SPANGLED TRL
71	0710-341-0328-5	4655 STAR SPANGLED TRL
72	0710-341-0329-3	4651 STAR SPANGLED TRL

73	0710-341-0330-0	4647 STAR SPANGLED TRL
74	0710-341-0331-8	4643 STAR SPANGLED TRL
75	0710-341-0332-6	4639 STAR SPANGLED TRL
76	0710-341-0333-4	4635 STAR SPANGLED TRL
77	0710-341-0334-2	4631 STAR SPANGLED TRL
78	0710-341-0335-0	4627 STAR SPANGLED TRL
79	0710-341-0336-8	4623 STAR SPANGLED TRL
80	0710-341-0337-6	4619 STAR SPANGLED TRL
81	0710-341-0338-4	4615 STAR SPANGLED TRL
82	0710-341-0339-2	4609 STAR SPANGLED TRL
83	0710-341-0340-9	4605 STAR SPANGLED TRL
O. L. 4	0710-341-0341-7	4601 STAR SPANGLED TRL
84	0710-341-0342-5	5030 EAGLES PERCH DR
85	0710-341-0343-3	5026 EAGLES PERCH DR
86	0710-341-0344-1	5022 EAGLES PERCH DR
87	0710-341-0345-9	5018 EAGLES PERCH DR
88	0710-341-0346-7	5014 EAGLES PERCH DR
89	0710-341-0347-5	5010 EAGLES PERCH DR
90	0710-341-0348-3	5006 EAGLES PERCH DR
91	0710-341-0349-1	5002 EAGLES PERCH DR 4521 VALOR WAY
O.L. 5 & 6	0710-341-0350-8	4515 VALOR WAY
92	0710-341-0351-6	4505 VALOR WAY
93	0710-341-0352-4	4501 VALOR WAY
94	0710-341-0401-9	5015 EAGLES PERCH DR
95	0710-341-0402-7	5019 EAGLES PERCH DR
96	0710-341-0403-5	5027 EAGLES PERCH DR
97	0710-341-0404-3	5031 EAGLES PERCH DR 1 BANNER CIR
98	0710-341-0405-1	5 BANNER CIR
99	0710-341-0406-9	9 BANNER CIR
100	0710-341-0407-7	15 BANNER CIR
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103	0710-341-0410-0	4608 STAR SPANGLED TRL
104	0710-341-0411-8	6 BANNER CIR 4616 STAR SPANGLED TRL
105	0710-341-0412-6	4628 STAR SPANGLED TRL
106	0710-341-0413-4	4632 STAR SPANGLED TRL
107	0710-341-0414-2	4644 STAR SPANGLED TRL
108	0710-341-0415-0	4650 STAR SPANGLED TRL
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110	0710-341-0417-6	4658 STAR SPANGLED TRL
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124	0710-341-0431-6	4720 STAR SPANGLED TRL
125	0710-341-0432-4	4724 STAR SPANGLED TRL
126	0710-341-0433-2	4728 STAR SPANGLED TRL 4751 VALOR WAY
127	0710-341-0434-0	4747 VALOR WAY
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129	0710-341-0436-6	4739 VALOR WAY
130	0710-341-0437-4	4735 VALOR WAY
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132	0710-341-0439-0	4727 VALOR WAY
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137	0710-341-0444-9	4705 VALOR WAY
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140	0710-341-0447-3	4639 VALOR WAY
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142	0710-341-0449-9	4631 VALOR WAY
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145	0710-341-0452-2	4619 VALOR WAY
146	0710-341-0453-0	4615 VALOR WAY
147	0710-341-0454-8	4609 VALOR WAY
148	0710-341-0455-6	4605 VALOR WAY
149	0710-341-0456-4	4601 VALOR WAY 5001 EAGLES PERCH DR

O.L. 7	0710-341-0457-2	4701 VALOR WAY 4638 STAR SPANGLED TR 5013 EAGLES PERCH DR 4714 STAR SPANGLED TR
150	0710-341-0501-7	4502 VALOR WAY 1 GLORY CT
151	0710-341-0502-5	5 GLORY CT
152	0710-341-0503-3	9 GLORY CT
153	0710-341-0504-1	10 GLORY CT
154	0710-341-0505-9	6 GLORY CT
155	0710-341-0506-7	2 GLORY CT 4514 VALOR WAY
O.L. 8 & 9	0710-341-0507-5	4518 VALOR WAY
156	0710-341-0508-3	4522 VALOR WAY 1 EAGLES PERCH CIR
157	0710-341-0509-1	5 EAGLES PERCH CIR
158	0710-341-0510-8	9 EAGLES PERCH CIR
159	0710-341-0511-6	15 EAGLES PERCH CIR
160	0710-341-0512-4	19 EAGLES PERCH CIR
161	0710-341-0513-2	26 EAGLES PERCH CIR
162	0710-341-0514-0	22 EAGLES PERCH CIR
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164	0710-341-0516-6	14 EAGLES PERCH CIR
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166	0710-341-0518-2	2 EAGLES PERCH CIR 4602 VALOR WAY
167	0710-341-0519-0	4610 VALOR WAY
168	0710-341-0520-7	4618 VALOR WAY
169	0710-341-0521-5	4622 VALOR WAY
170	0710-341-0522-3	4630 VALOR WAY
171	0710-341-0523-1	1 VALOR CIR 4634 VALOR WAY
172	0710-341-0524-9	5 VALOR CIR
173	0710-341-0525-7	9 VALOR CIR
174	0710-341-0526-5	14 VALOR CIR
175	0710-341-0527-3	10 VALOR CIR
176	0710-341-0528-1	6 VALOR CIR
177	0710-341-0529-9	2 VALOR CIR 4644 VALOR WAY
178	0710-341-0530-6	4648 VALOR WAY
179	0710-341-0531-4	4652 VALOR WAY
O.L. 10	0710-341-0532-2	4658 VALOR WAY
180	0710-341-0533-0	4702 VALOR WAY
181	0710-341-0534-8	4706 VALOR WAY

182	0710-341-0535-6	4710 VALOR WAY
183	0710-341-0536-4	4716 VALOR WAY
184	0710-341-0537-2	4722 VALOR WAY
185	0710-341-0538-0	4726 VALOR WAY
186	0710-341-0539-8	4730 VALOR WAY
O.L. 11	0710-341-0540-5	4740 VALOR WAY
187	0710-341-0541-3	4746 VALOR WAY
188	0710-341-0542-1	4750 VALOR WAY
189	0710-341-0543-9	4754 VALOR WAY
190	0710-341-0544-7	4758 VALOR WAY
191	0710-341-0545-5	4762 VALOR WAY
O.L. 12	0710-341-0546-3	4766 VALOR WAY
192	0710-341-0547-1	4802 VALOR WAY
193	0710-341-0548-9	4806 VALOR WAY
194	0710-341-0549-7	4810 VALOR WAY
195	0710-341-0550-4	4814 VALOR WAY
196	0710-341-0551-2	4818 VALOR WAY
197	0710-341-0552-0	4822 VALOR WAY
199	0710-341-0554-6	5002 SIGGELKOW RD

CSM #11185

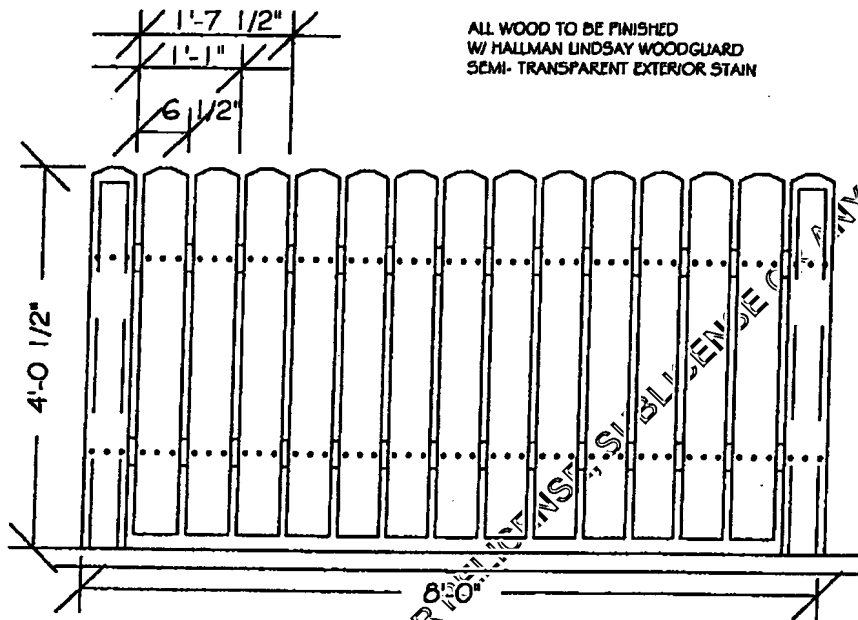
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2	0710-341-0555-4	4826 VALOR WAY
3	0710-341-0556-2	4814 FREEDOM RING RD 4830 VALOR WAY

LICENSED TO DANE COUNTY AND NOT FOR RE-USE

Exhibit "E1"

NOTE: 4x4 POSTS TO BE TREATED WOOD

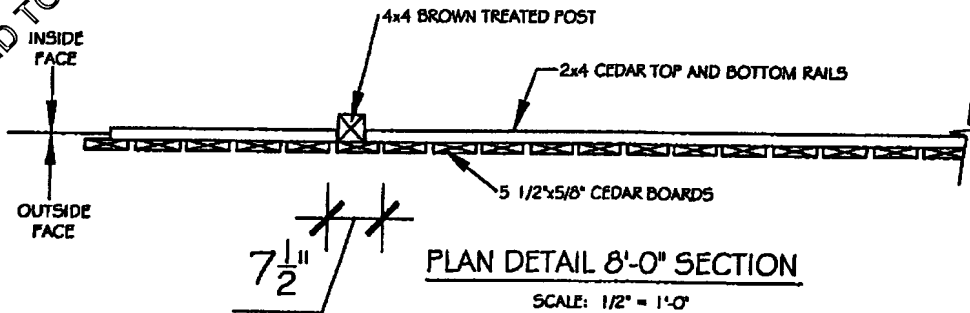
ALL WOOD TO BE FINISHED W/ HALLMAN LINDSAY WOODGUARD SEMI- TRANSPARENT EXTERIOR STAIN



ELEVATION TYPICAL 8'-0" SECTION 6" PICKETS

SCALE: 1/2" = 1'-0"

LICENSED TO DANE COUNTY AND NOT FOR ANY OTHER TRANSFER.



PLAN DETAIL 8'-0" SECTION

SCALE: 1/2" = 1'-0"

4'0 PICKET FENCE DETAIL

Viewers are advised to ignore the illegible text on this drawing. It is presented to show spatial relationships only.

Authorized by:

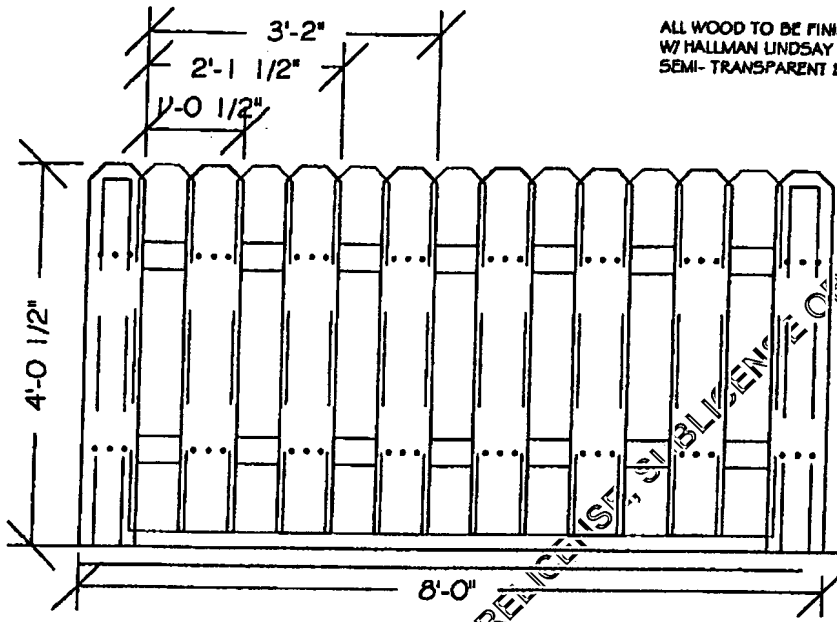
[Signature] D.A. ESPRITO, JR.

Model: -		Custom Designed For: -		<p>VERIDIAN HOMES</p> <p>6001 South Towne Drive - Madison, WI 53713 (608)226-3100 Fax (608)226-0600</p> <p>© Copyright 2004 Veridian Homes Protected Under Architectural Works Copyright Protection Act of 1990.</p>
ELEVATION		Lot/Subdivision: -		
Base Plan		Address: -		
Revised: -		Drawn By: -		
		Customer Approval: - / 2004		
		Date: - / 2004		
		OSM Approval: -		
Do Not Scale		Notes: Please review carefully. What is shown in the plan represents what will be constructed. We will not be held responsible for errors if work is built according to the customer's approved plan.		
Note: All dimensions are stud to stud		Revised: -		

Exhibit "E2"

NOTE: 4x4 POSTS TO BE TREATED WOOD

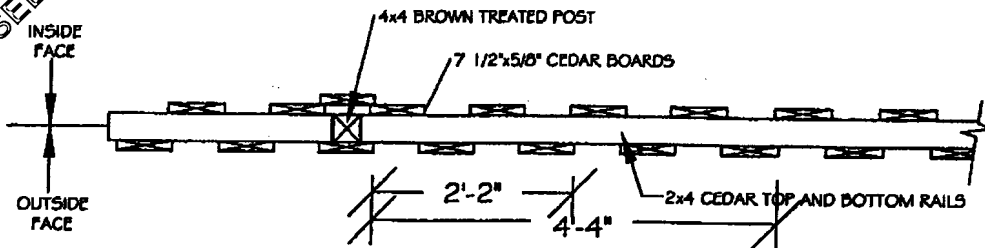
ALL WOOD TO BE FINISHED W/ HALLMAN LINDSAY WOODGUARD SEMI- TRANSPARENT EXTERIOR STAIN



ELEVATION TYPICAL 8'-0" SECTION 7 1/2" CEDAR PICKET

SCALE: 1/2" = 1'-0"

LICENSED TO DANE COUNTY AND NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY OTHER MEANS WITHOUT THE WRITTEN PERMISSION OF VERIDIAN HOMES



PLAN DETAIL 8'-0" SECTION

SCALE: 1/2" = 1'-0"

4'0 BOARD ON BOARD FENCE DETAIL

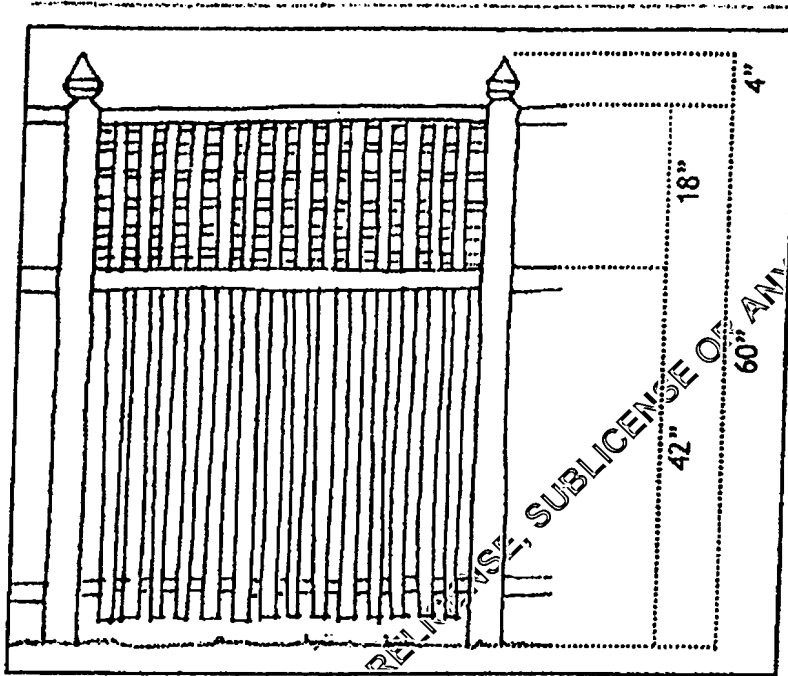
Viewers are advised to ignore the illegible text on this drawing. It is presented to show spatial relationships only.

Authorized by:

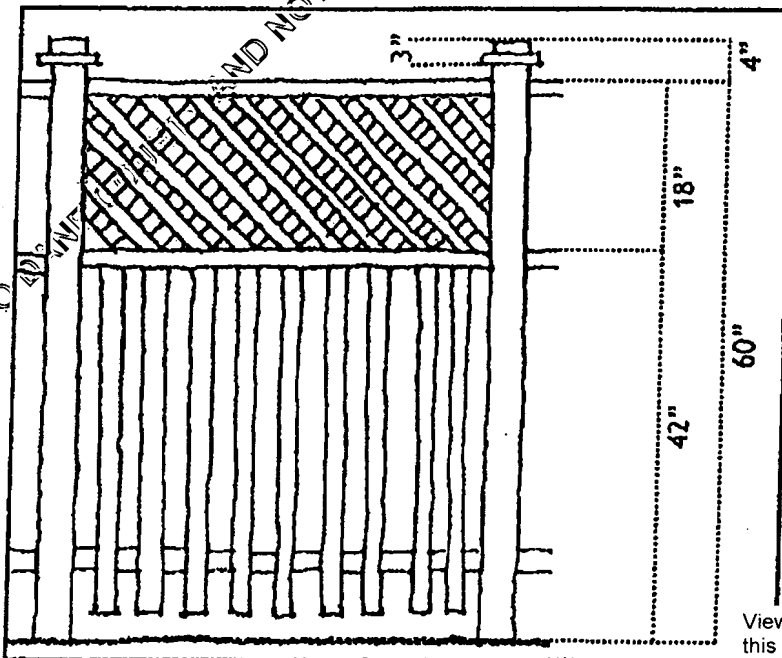
[Signature] D.A. ESPINOZA, Jr.

Model: -	Custom Designed For: -		<p>VERIDIAN HOMES</p> <p>6601 South Towns Drive - Madison, WI 53713 (608)226-3100 Fax: (608)226-0600</p> <p>© Copyright 2004 Veridian Homes Protected Under Architectural Works Copyright Protection Act of 1990.</p>
ELEVATION	Lot/Subdivision: _____	Address: _____	
Base Plan: _____	Drawn By: _____	Customer Approval: _____ / 2004	<p>Do Not Scale Note: All dimensions are stud to stud</p>
Plan: _____	Date: _____	DSM Approval: _____ / 2004	
<p>Note: Please review carefully. What is shown in this plan represents what will be constructed. We will not be held responsible for errors if work is built according to the customer's approved plan.</p>			
Revised: _____			

Exhibit E3



Picket: Lattice shall be 1 1/2" in width with 2" spacing between vertical and horizontal members.



Stick: Lattice shall be 2" in width with 2" spacing between diagonal members.

Viewers are advised to ignore the illegible text on this drawing. It is presented to show spatial relationships only.

Authorized by:

[Signature] D.A. ESPOSITO, JR.

Model: _____		Custom Designed For: _____	
ELEVATION		Lot/Subdivision: _____	
Base Plan _____		Address: _____	
Revised: _____		Drawn By: _____	Customer Approval: _____ / 2004
		Date: _____	DSM Approval: _____ / 2004
<p>Do Not Scale Note: Please review carefully. What is shown in the plan represents what will be constructed. We will not be held responsible for errors if work is built according to the customer's approved plan.</p>			
Revised: _____			

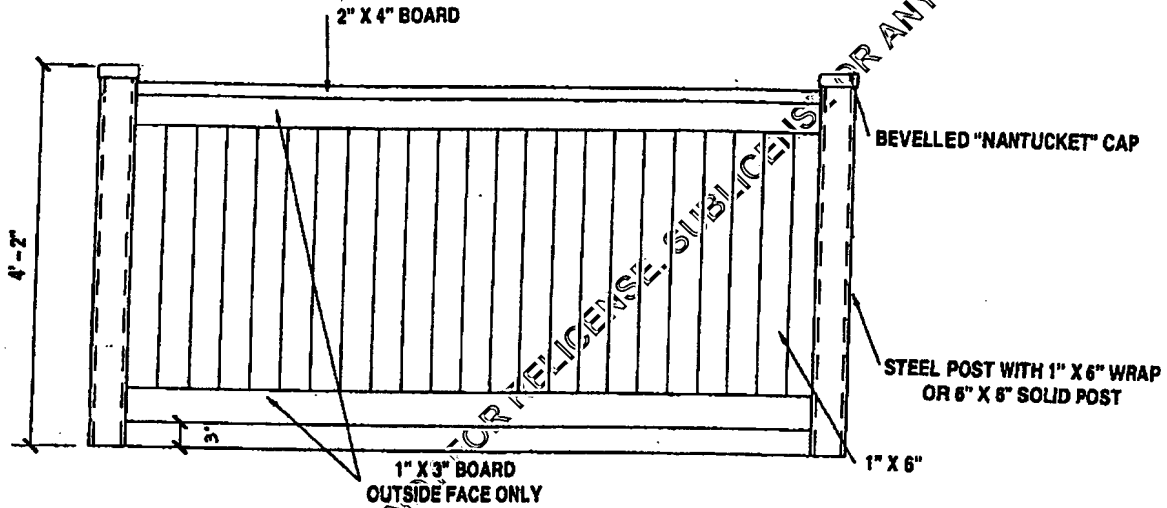


6801 South Towne Drive - Madison, WI 53713
(608)226-3100 Fax: (608)226-0600

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Exhibit "E-4"

ALL WOOD TO BE FINISHED
W/ HALLMAN LINDSAY WOODGUARD
SEMI- TRANSPARENT EXTERIOR STAIN



ELEVATION TYPICAL 8'-0" SECTION

SCALE: 1/2" = 1'-0"

LICENSED TO DANE COUNTY

FOR ANY OTHER TRANSFER.



PLAN DETAIL 8'-0" SECTION

SCALE: 1/2" = 1'-0"

Viewers are advised to ignore the illegible text on this drawing. It is presented to show spatial relationships only.

Authorized by:

[Signature] D.A. ESTABITO, JR.

Model: -		Custom Designed For: -		<p>VERIDIAN HOMES</p> <p>6801 South Towne Drive - Madison, WI 53713 (608)226-3100 Fax: (608)226-0600</p> <p>© Copyright 2004 Veridian Homes Protected Under Architectural Works Copyright Protection Act of 1990.</p>
ELEVATION		Lot/Subdivision: -		
Base Plan		Address: -		
Base Plan	Revised: -	Drawn By: -	Customer Approval: - / 1/2004	
Plan: -		Date: -	DSH Approval: - / 1/2004	
<p>Do Not Scale</p> <p>Note: All dimensions are stud to stud</p>				
Revised: -				