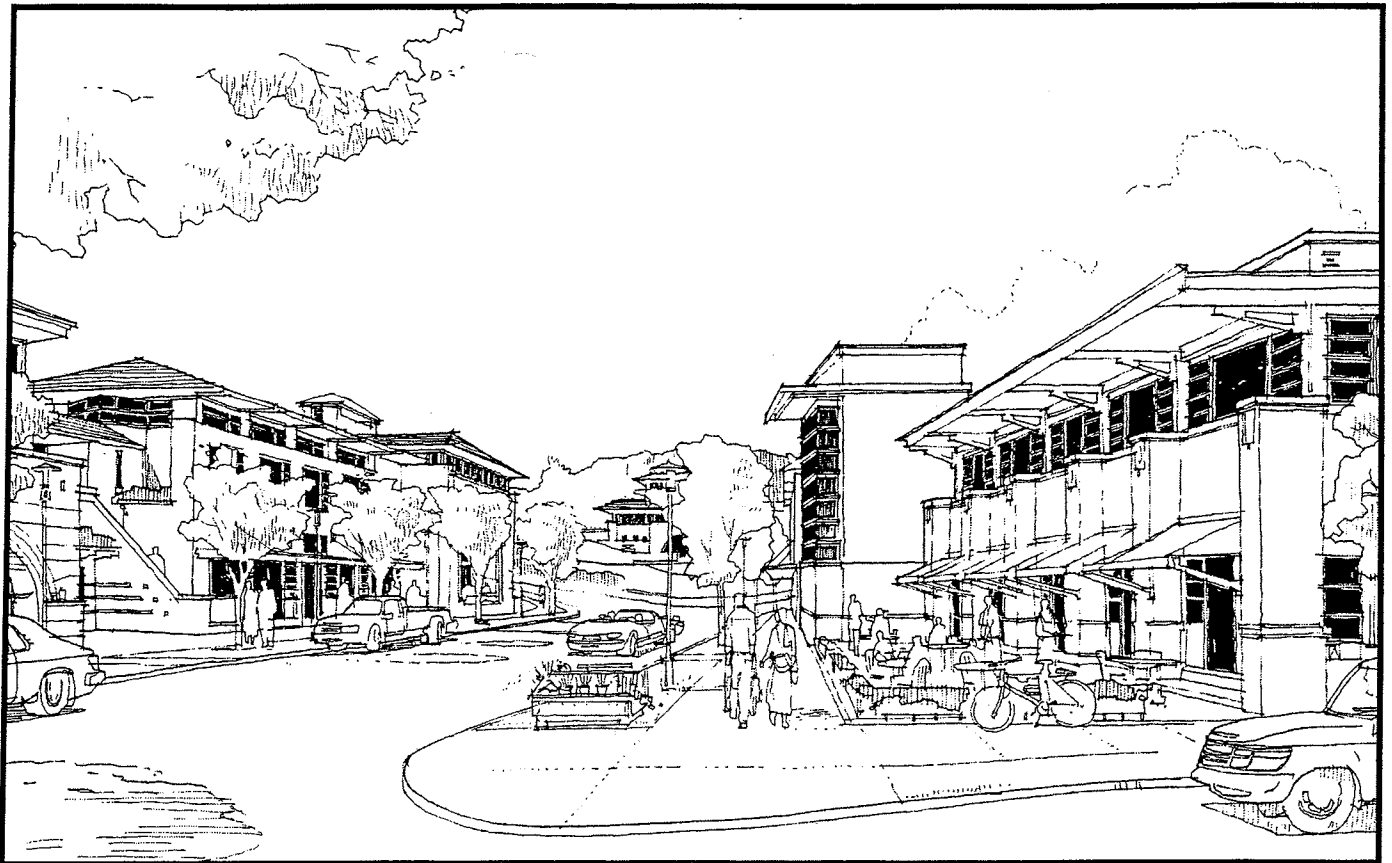




MIDDLETON HILLS

# NEIGHBORHOOD CODE AND COVENANTS



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SECTION ONE  
INTRODUCTION



## SUMMARY OF THE MIDDLETON HILLS NEIGHBORHOOD CODE

The neighborhood of Middleton Hills was designed with two objectives in mind. The first is to create a friendly village atmosphere with memorable and unique streets and alleys; the second, and equally important is to offer the homeowner a personalized design within the framework of regional architectural traditions.

Andres Duany and Elizabeth Plater-Zyberk, the neighborhood planners for Middleton Hills, have established a Regulating Plan for the community together with a Neighborhood Code to assist owners in the planning and construction of their homes. These documents set basic standards to promote a visually harmonious community of durable and carefully designed buildings.

The Middleton Hills Neighborhood Code consists of three types of regulations; the **Urban Regulations**, the **Architectural Regulations**, and the **Landscape Regulations**. The Code also includes two additional provisions; the **Regulating Plan**, which is the master organizational plan for the community and the **Design Review Process**, which sets forth the procedures by which the Middleton Hills Architectural Design Review Committee reviews all submissions.

The **Urban Regulations** pertain to building use, building placement, building heights, and garages for each building site. They are to be used in conjunction with the lot diagram for each lot. Together they ensure a cohesive urban design for the community.

The **Architectural Regulations** address the architectural character of the neighborhood. It specifies housing design principles based on the regional traditions of Prairie style, Arts & Crafts, and Bungalow. The building materials recommended for Middleton Hills are natural materials which work well in this Midwest climate and relate to the regional architecture.

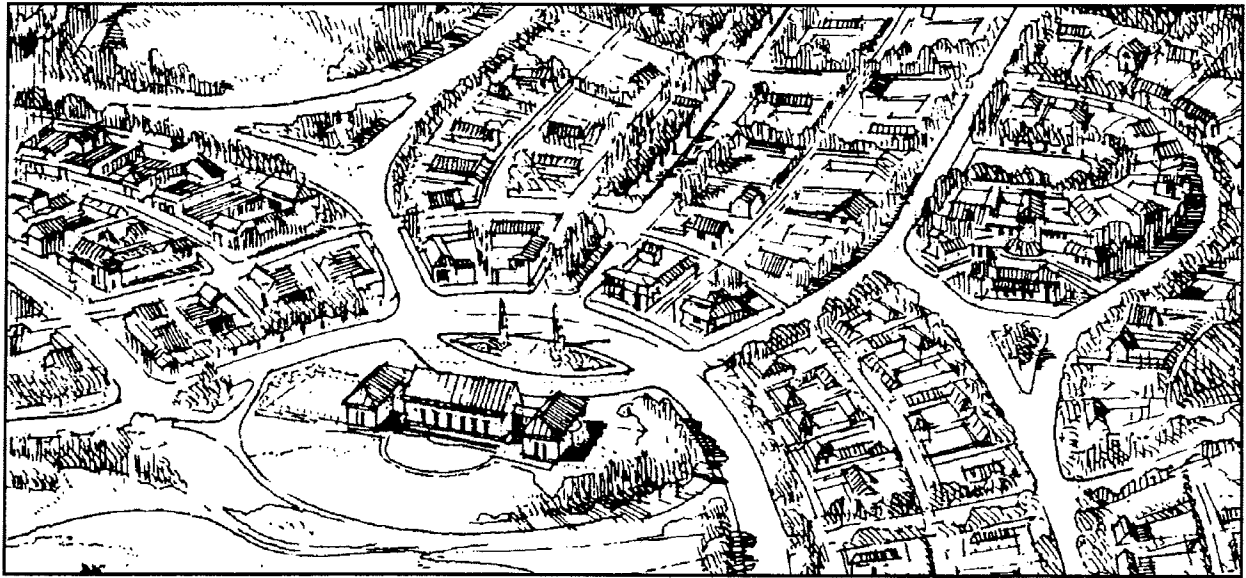
## INTRODUCTION

The **Landscape Regulations** encourage landscape design which include native plant materials and is harmonious with the Architectural Regulations. It is also intended to create front yards which become integrated with the neighborhood as a whole.

In order to protect the design integrity of the neighborhood and the property values of all owners, now and in the future, the Middleton Hills Architectural Review Committee (MHARC) has been formed to review all building and landscape plans, as defined in the **Design Review Process**, and to provide guidance when necessary.

The Middleton Hills Neighborhood Code is intended to be a framework for residents, designers and builders to understand the urban and architectural goals of the Middleton Hills community. The Code will be revised periodically in order to clarify and simplify the means for achieving these goals. While the written Code represents as clearly as possible the recommendations of the MHARC, the decisions of the committee will always have precedence over the written Code. The MHARC is available to assist in understanding and interpreting the Code.

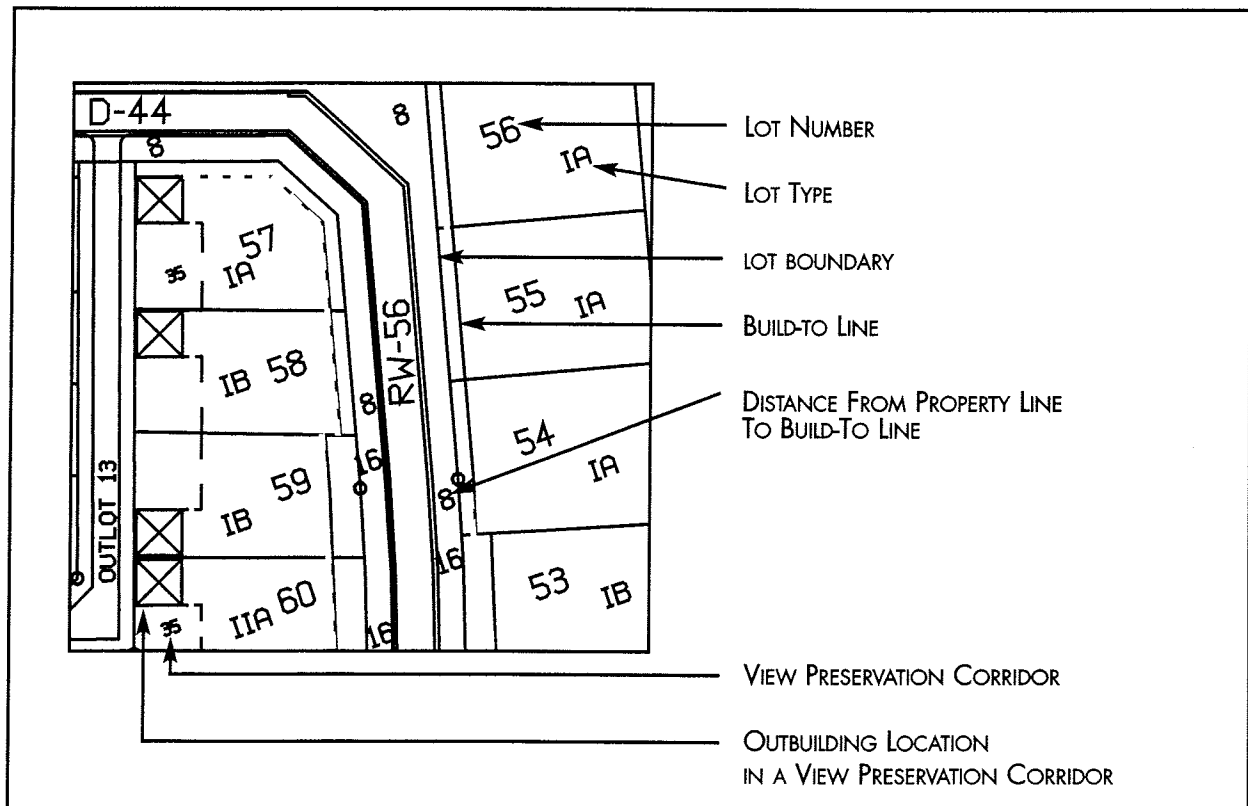
SECTION TWO  
REGULATING PLANS



## UNDERSTANDING THE REGULATING PLAN

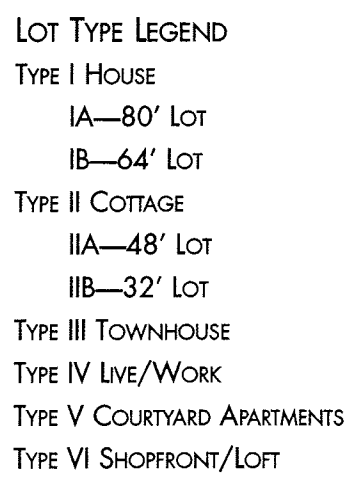
The Regulating Plan is the master organizational plan for the Middleton Hills Neighborhood. It provides for an orderly progression of building and a pleasant and harmonious environment upon completion. Careful consideration was given to the placement of homesites, neighboring residences, public buildings, open green spaces, and an integrated system of streets and alleys.

Every building site has been designated for a particular type of structure as identified in the Regulating Plan. Illustrated below are examples of information provided on the Regulating Plan as it relates to future building on the site.

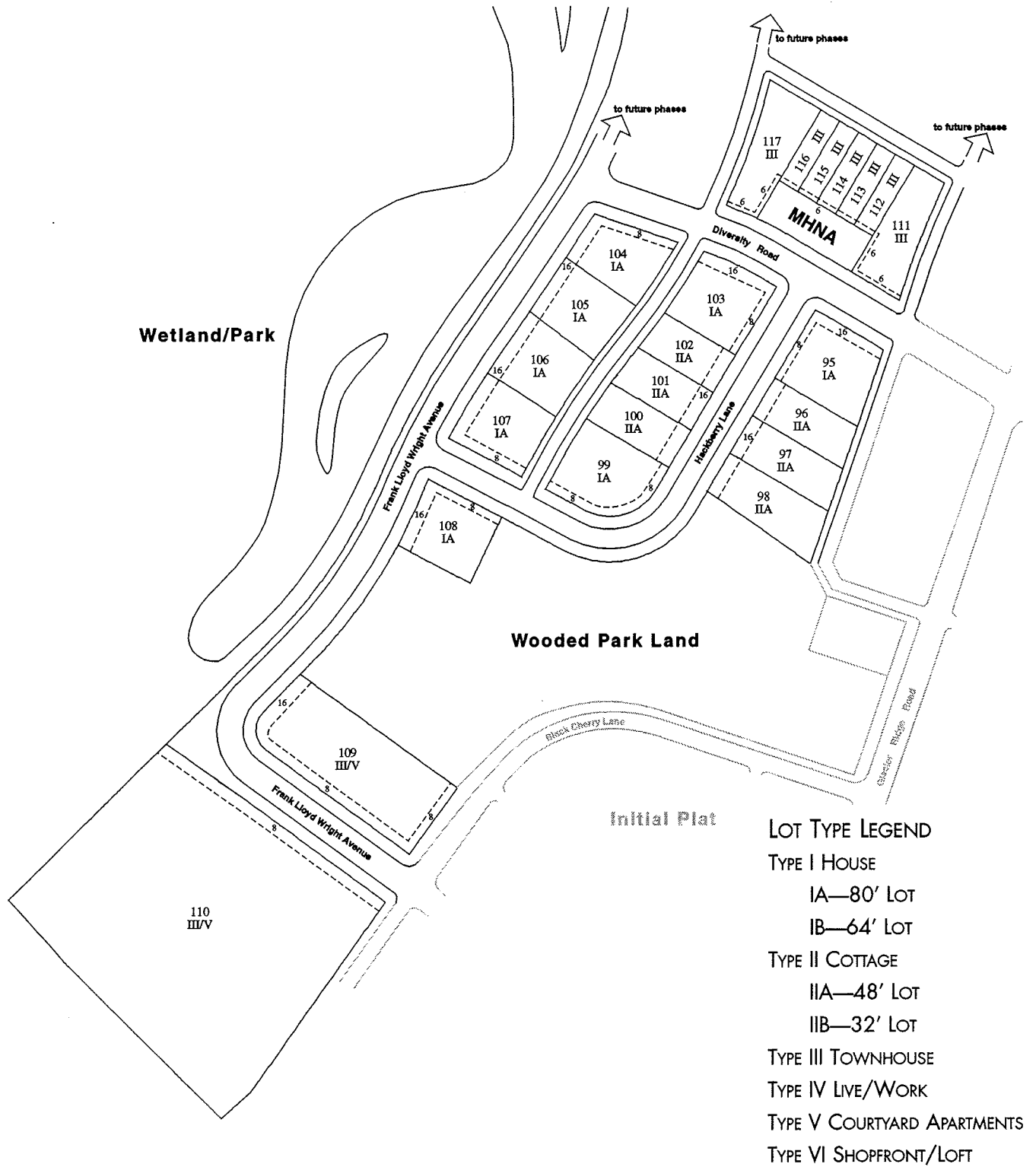


## DEFINITIONS

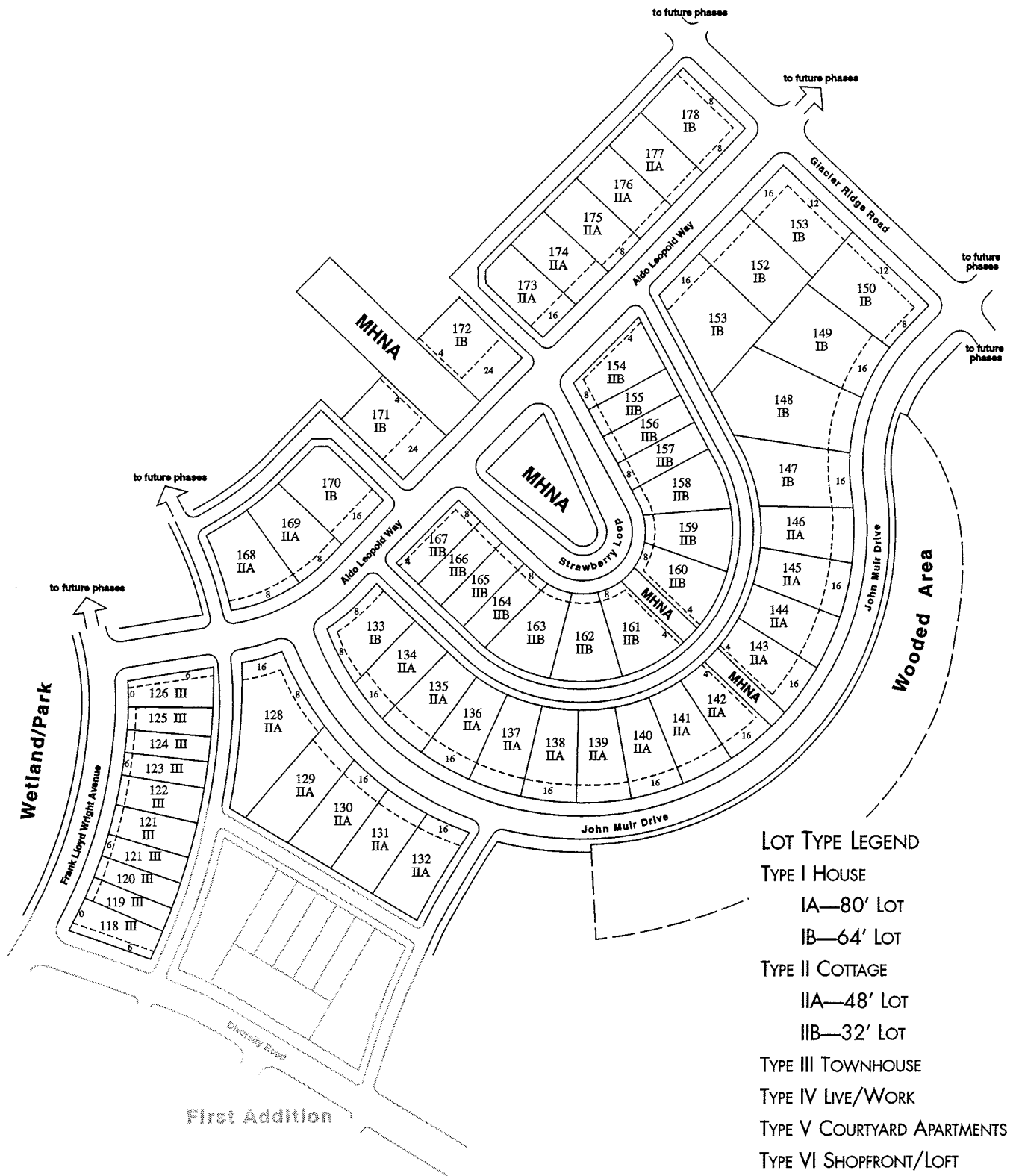
Build-to Line:	The mandatory distance between a Property Line and a Facade.
Facade:	The vertical surface of a building.
Outbuilding:	A structure not connected to the main house by an enclosed, heated space. If connected to the house by an open or screened in porch, it is still considered an outbuilding. Detached garages are considered outbuildings.
Property Line:	The legal lot boundary.



# FIRST ADDITION PLAT – REGULATING PLAN

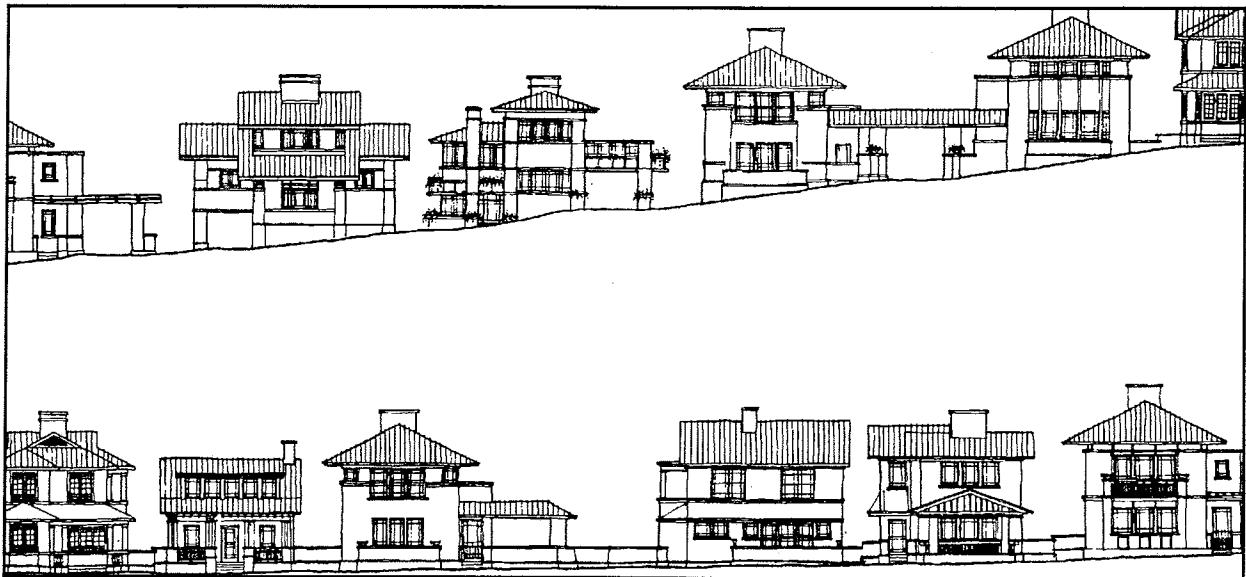


# SECOND ADDITION PLAT – REGULATING PLAN



# SECTION THREE

## URBAN REGULATIONS



TYPE I HOUSE  
80 FOOT AND 64 FOOT LOTS

TYPE II COTTAGE  
48 FOOT AND 32 FOOT LOTS

TYPE III  
TOWNHOUSE

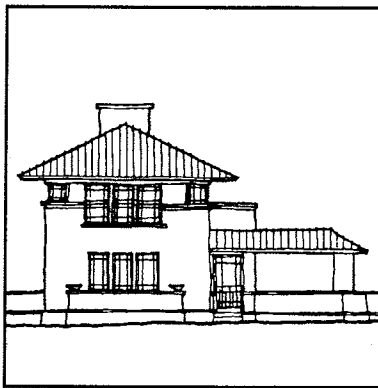
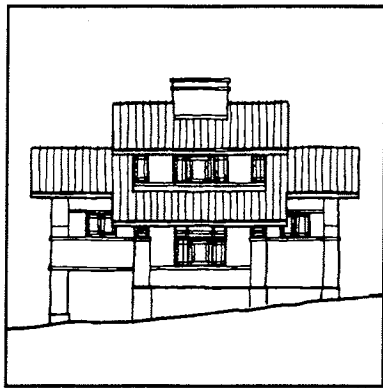
TYPE IV  
LIVE/WORK UNITS

TYPE V  
COURTYARD APARTMENT

TYPE VI  
SHOPFRONT/LOFT

SECTION THREE  
URBAN REGULATIONS

TYPE I HOUSE  
80 FOOT AND 64 FOOT LOTS



## TYPE I HOUSE—80 FOOT AND 64 FOOT LOTS

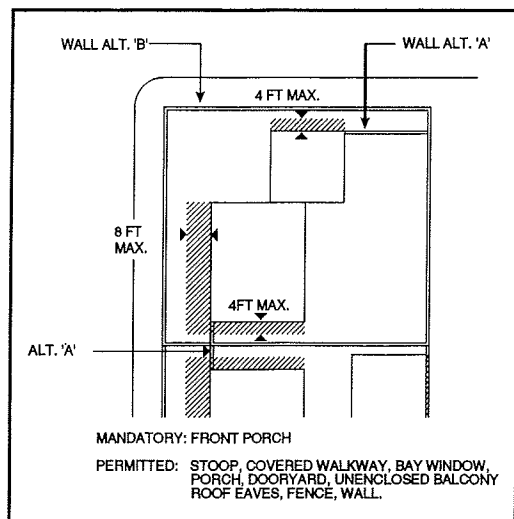
All building plans shall be submitted to the Middleton Hills Architectural Review Committee's office to confirm compliance with the standards below. Variances to the code may be granted on the basis of specific urban conditions. All building plans shall conform to the Wisconsin Administrative Code.

### BUILDING USE

1. The following uses are permitted either as attached to the main house or as an outbuilding: garage, workshop, artist studio, sauna, pool house equipment enclosure, gazebo, conservatory. Guest cottages are permitted only as an outbuilding.
2. Lots located on alley-street intersections are encouraged to contain outbuildings with second story residential use.
3. The maximum size of an outbuilding shall be 750 square feet on the first floor and 500 square feet on the second floor.

### BUILDING PLACEMENT

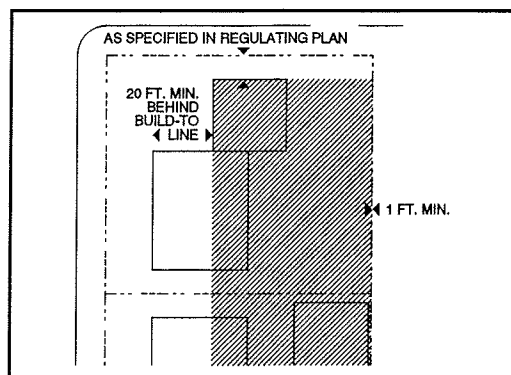
1. Buildings shall be located on lots relative to the property lines as shown in the lot diagram for each lot.
2. The front facade of the house must be built on the build-to line. The width of the house on the build-to line must occupy a minimum of 25% of the width of the lot measured along the build-to line.
3. Buildings located on lots with curved property lines at the street (see Regulating Plan) may substitute for that line, a straight line, located at the average depth of the curved line segment fronting the building.
4. Outbuildings shall be separated from the main house by a 12 foot minimum distance.
5. For lots at the intersection of two streets, houses shall have the entry walkway and porch accessed from the same street as the adjacent lots. The intention is to end the block with houses which relate to the street in a similar manner as mid-block houses.
6. For lots at the intersection of two streets, an unobstructed view triangle must be maintained for traffic visibility. The triangle is defined by three points: the intersection of the curbs at the corner, and the point 30 feet back along each curb from the corner.
7. Lots which have a build-to line adjacent to public green spaces must have a fence/ stonewall/ hedge/ separation between the public and private areas where the building does not touch the build-to line. This separation must be a minimum of 3 ft. in height and extend from the face of the building to the rear property line. If an informal hedge, refer to the "Wildlife Hedges" section in the Landscape Regulations.
8. The face of the garage must be located no less than 1 ft. and no more than 5 ft. from the alley property line. Variances of more than 5 ft. may be granted on a case by case basis. It is the intent of the Code to create a defined edge along the alley.



PERMITTED ENCROACHMENTS

## PERMITTED ENCROACHMENTS

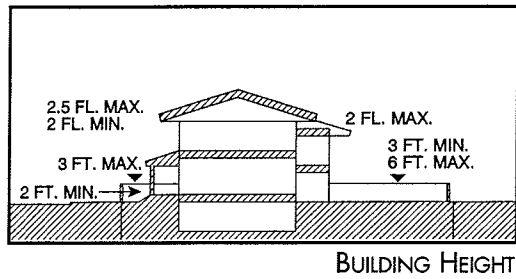
1. Front porches, balconies, stoops, open porches, and covered walkways shall be permitted within the shaded areas shown in the diagram.
2. Front porches are required.
3. Garden walls or fences shall be permitted as shown in the diagram.
4. On street corner lots, porches and bay windows may not encroach the vision triangle.
5. Bay windows are a permitted encroachment. However, the location of bay window projections in an encroachment area between two buildings must be approved by the MHARC.
6. Roof eaves may not extend over a property line or a utility easement. Exceptions may be granted for roof eaves which extend over the property line at the alley provided they are 14 feet or greater above the elevation at the alley and are not over a utility easement. Eaves on a front porch roof may extend past the permitted encroachment area at the street but may be no closer to the property line than 12".



PARKING

## PARKING

1. Garages and on-site parking spaces shall be provided only within the areas shown here. The maximum distance allowed for parking from the alley property line to the house is 30 feet.
2. Private parking spaces shall be no less than 9 ft. x 19 ft. with access to a street or alley.
3. Trash containers shall be located within the parking area and shall be screened from public view.
4. One parking space is required where net residential square footage is eight hundred square feet or less.
5. Two parking spaces are required where net residential square footage is greater than eight hundred square feet.
6. Required parking spaces shall be enclosed in a garage.
7. Garages must be located a minimum of 20 ft. back from the build-to line at the primary street facade.

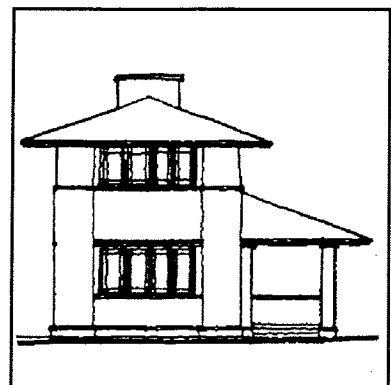
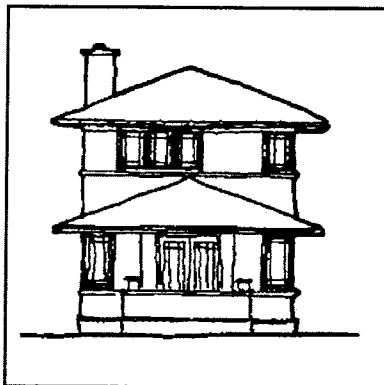


## BUILDING HEIGHT

1. The first floor elevation shall be a minimum of 2 ft. and a maximum of 7 ft. above the average fronting street elevation measured on the property line. Variances may be granted on a case by case basis. However, the maximum building height shall never exceed that governed by the City of Middleton zoning ordinance. It is the intent of the Code to create a defining edge and a street friendly appearance, with an open porch raised to enhance privacy.
2. Minimum and maximum building heights shall be measured in number of floors, each floor not to exceed a 13 ft. floor to ceiling height. House building height shall be a minimum of 2 floors and a maximum of 2.5 floors. The maximum height of outbuildings shall be 2 floors.
3. Half stories indicate stories above the eave line, which receive light through dormers.
4. Basements are allowed as an additional floor without penalty.
5. Fences and wall heights are as specified in the diagram. Fences and walls located within the vision triangle shall have a maximum height of 30 inches.

SECTION THREE  
URBAN REGULATIONS

TYPE II COTTAGE  
48 FOOT AND 32 FOOT LOTS



## TYPE II COTTAGE—48 FOOT AND 32 FOOT LOTS

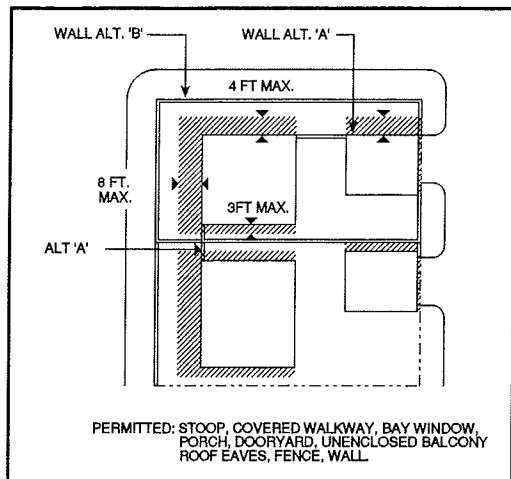
All building plans shall be submitted to the Middleton Hills Architectural Review Committee's office to confirm compliance with the standards below. Variances to the code may be granted on the basis of specific urban conditions. All building plans shall conform to the Wisconsin Administrative Code.

### BUILDING USE

1. The following uses are permitted either as attached to the main house or as an outbuilding: garage, workshop, artist studio, sauna, pool house equipment enclosure, gazebo, conservatory. Guest cottages are permitted only as an outbuilding.
2. Lots located on alley-street intersections are encouraged to contain outbuildings with second story residential use.
3. The maximum size of an outbuilding shall be 750 square feet on the first floor and 500 square feet on the second floor.

### BUILDING PLACEMENT

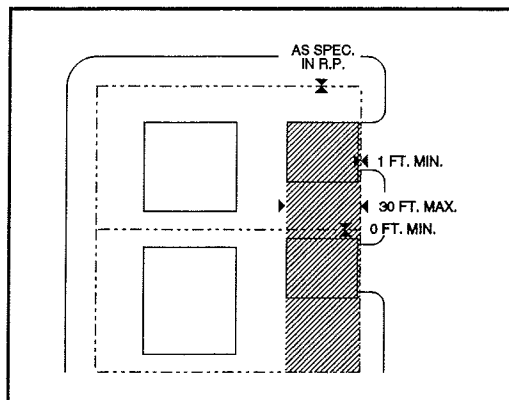
1. Buildings shall be located on lots relative to the property lines as shown in the lot diagram for each lot.
2. The front facade of the house must be built on the build-to line. The width of the house on the build-to line must occupy a minimum of 25% of the width of the lot measured along the build-to line.
3. Buildings located on lots with curved property lines at the street (see Regulating Plan) may substitute for that line, a straight line, located at the average depth of the curved line segment fronting the building.
4. Outbuildings shall be separated from the main house by a 12 foot minimum distance.
5. For lots at the intersection of two streets, houses shall have the entry walkway and porch accessed from the same street as the adjacent lots. The intention is to end the block with houses which relate to the street in a similar manner as mid-block houses.
6. For lots at the intersection of two streets, an obstructed view triangle must be maintained for traffic visibility. The triangle is defined by three points: the intersection of the curbs at the corner, and the point 30 feet back along each curb from the corner.
7. Lots which have a build-to line adjacent to public green spaces must have a fence/ stonewall/ hedge/ separation between the public and private areas where the building does not touch the build-to line. This separation must be a minimum of 3 ft. in height and extend from the face of the building to the rear property line. If an informal hedge, refer to the "Wildlife Hedges" section in the Landscape Regulations.
8. The face of the garage must be located no less than 1 ft. and no more than 5 ft. from the alley property line. Variances of more than 5 ft. may be granted on a case by case basis. It is the intent of the Code to create a defined edge along the alley.



PERMITTED ENCROACHMENTS

## PERMITTED ENCROACHMENTS

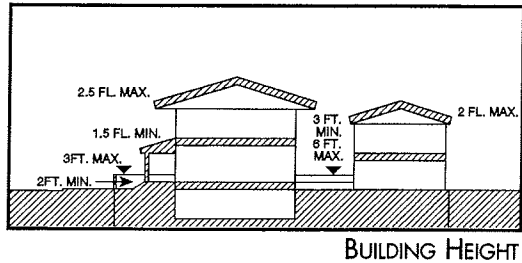
1. Balconies, stoops, open porches, covered walkways, and raised dooryards shall be permitted within the shaded areas shown here.
2. Garden walls or fences shall be permitted as shown here.
3. Porches and bay windows may not encroach the vision triangle on corner lots.
4. Bay windows are a permitted encroachment. However, the location of bay window projections in an encroachment area between two buildings must be approved by the MHARC.
5. Roof eaves may not extend over a property line or a utility easement. Exceptions may be granted for roof eaves which extend over the property line at the alley provided they are 14 feet or greater above the elevation at the alley and are not over a utility easement. Eaves on a front porch roof may extend past the permitted encroachment area at the street but may be no closer to the property line than 12".



PARKING

## PARKING

1. Garages and on-site parking spaces shall be provided only within the areas shown in the diagram.
2. Private parking spaces shall be no less than 9 ft. x 19 ft. with access to a street or alley.
3. Trash containers shall be located within the parking area and shall be screened from public view.
4. One parking space is required where net residential square footage is eight hundred square feet or less.
5. Two parking spaces are required where net residential square footage is greater than eight hundred square feet.
6. Required parking spaces shall be enclosed in a garage.



## BUILDING HEIGHT

1. The first floor elevation shall be a minimum of 2 ft. and a maximum of 7 ft. above the average fronting street elevation measured on the property line. Variances may be granted on a case by case basis. However, the maximum building height shall never exceed that governed by the City of Middleton zoning ordinance. It is the intent of the Code to create a defining edge and a street friendly appearance, with an open porch raised to enhance privacy.
2. Minimum and maximum building heights shall be measured in number of floors, each floor not to exceed a 13 ft. floor to ceiling height. House building height shall be a minimum of 1.5 floors and a maximum of 2.5 floors. The maximum height of outbuildings shall be 2 floors.
3. Half stories indicate stories above the eave line, which receive light through dormers.
4. Basements are allowed as an additional floor without penalty.
5. Fences and wall heights are as specified in the diagram. Fences and walls located within the vision triangle shall have a maximum height of 30 inches.

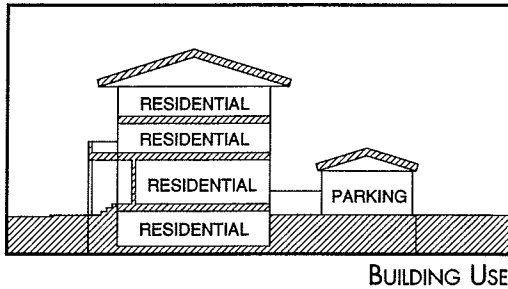
SECTION THREE  
URBAN REGULATIONS

TYPE III  
TOWNHOUSE



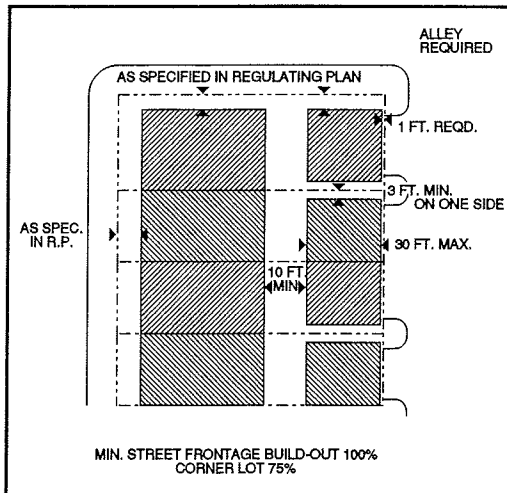
## TYPE III—TOWNHOUSE

All building plans shall be submitted to the Middleton Hills Architectural Review Committee's office to confirm compliance with the standards below. Variances to the code may be granted on the basis of specific urban conditions. All building plans shall conform to the Wisconsin Administrative Code.



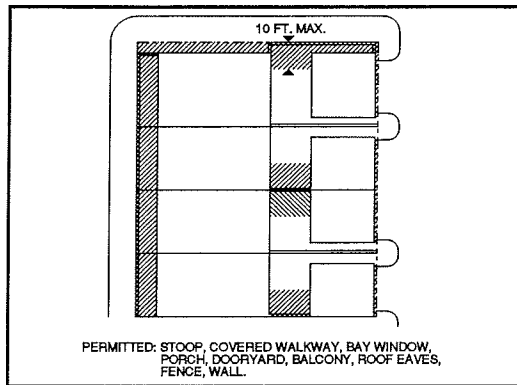
### BUILDING USE

Uses of the buildings shall be as shown in the diagram.



### BUILDING PLACEMENT

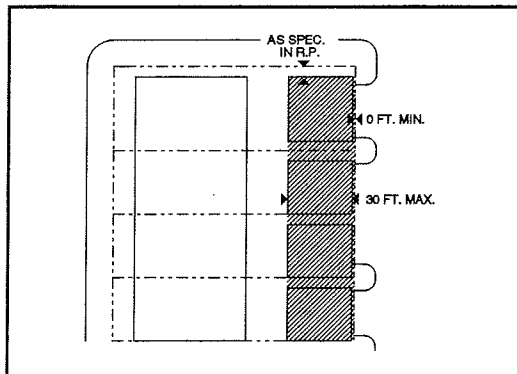
1. Buildings shall be set on lots relative to the property lines as shown here.
2. Building street facades must occupy 100% of the lot frontage. On corner lots, building street facades must occupy a minimum of 75% of the lot frontage.
3. In the absence of building walls, garden walls between 30 and 60 inches in height may be built on the frontage line to the full width of the lot. These walls may be interrupted by a gate up to 4 feet wide.
4. Buildings with garages must be separated from their garages by a minimum of 10 feet.
5. Buildings located on lots with curved property lines at the street (see Regulating Plan) may substitute for that line, a straight line, located at the average depth of the curved line segment fronting the building.
6. For lots at the intersection of two streets, an obstructed view triangle must be maintained for traffic visibility. The triangle is defined by three points: the intersection of the curbs at the corner, and the point 30 feet back along each curb from the corner.



PERMITTED ENCROACHMENTS

## PERMITTED ENCROACHMENTS

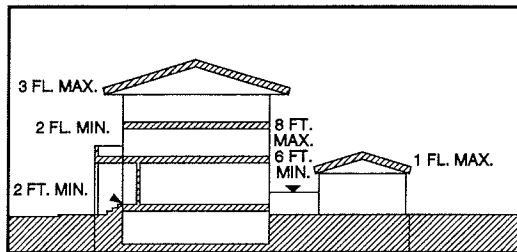
1. Balconies, stoops, open porches, roof eaves, covered walkways, bay windows and raised dooryards shall be permitted within the shaded areas shown in the diagram.
2. Garden walls or fences shall be permitted as shown in the diagram.
3. Porches and bay windows may not encroach the vision triangle on a corner lot.



PARKING

## PARKING

1. On-site parking spaces shall be provided only within the shaded areas shown here.
2. Private parking spaces shall be no less than 9 ft. x 19 ft. with access to a street or alley.
3. Trash containers shall be located within the parking area.
4. One parking space is required where net residential square footage is eight hundred square feet or less.
5. Two parking spaces are required where net residential square footage is greater than eight hundred square feet.



BUILDING HEIGHT

## BUILDING HEIGHT

1. Heights shall be measured relative to the average fronting street elevation measured on the property line.
2. Minimum and maximum building heights shall be measured in number of floors, each floor not to exceed a 13 foot floor to ceiling height.
3. The Townhouse shall have a minimum of 2 floors and a maximum of 3 floors.
4. Half stories indicate stories above the eave line, which receive light through dormers.
5. Basements are allowed in all structures as an additional floor without penalty.
6. Fences and wall heights are as specified in the diagram and walls located within the vision triangle shall have a maximum height of 30 inches.
7. First floor elevation shall be a minimum of 2 feet above adjacent sidewalk elevation.

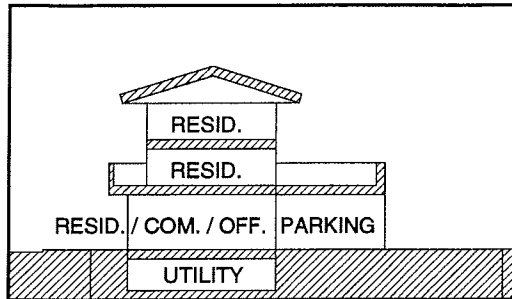
SECTION THREE  
URBAN REGULATIONS

TYPE IV  
LIVE/WORK UNITS



## TYPE IV—LIVE/WORK UNITS

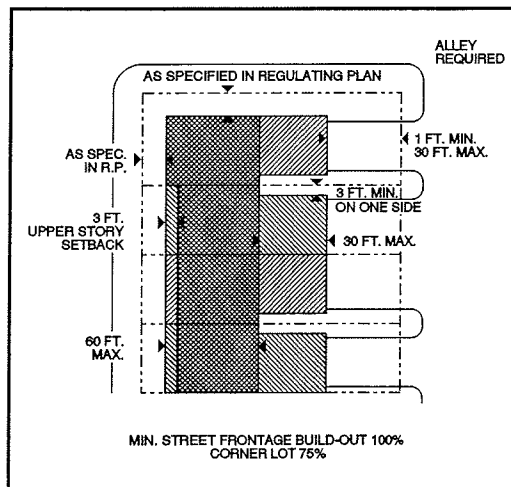
All building plans shall be submitted to the Middleton Hills Architectural Review Committee's office to confirm compliance with the standards below. Variances to the code may be granted on the basis of specific urban conditions. All building plans shall conform to the Wisconsin Administrative Code.



BUILDING USE

### BUILDING USE

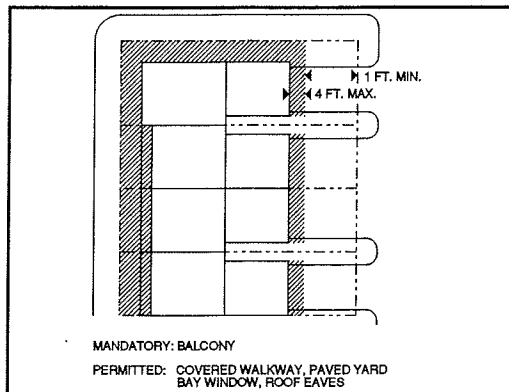
Uses of the buildings shall be as shown in the diagram.



BUILDING PLACEMENT

### BUILDING PLACEMENT

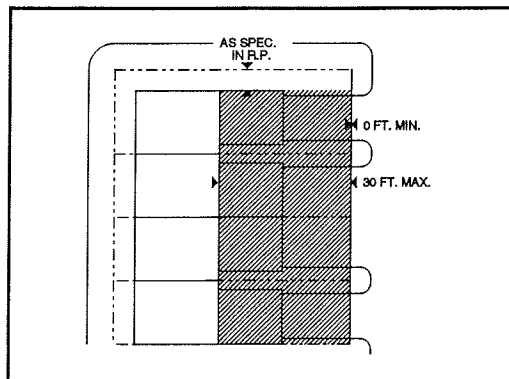
1. Buildings shall be set on lots relative to the property lines as shown here.
2. Building street facade must occupy 100% of the lot frontage. On corner lots, building street facades must occupy a minimum of 75% of the lot frontage.
3. In the absence of building walls, garden walls between 30 and 60 inches in height may be built on the frontage line to the full width of the lot. These walls may be interrupted by a gate up to 4 feet wide.
4. The second and third stories shall be set back from the frontage line a distance of 3 feet. This setback may be encroached by bay windows and unenclosed balconies. This setback is not required on an end unit.
5. Buildings at corner lots shall treat the frontage line at the house facade as specified here. The frontage line at the side of the house shall be treated as a minimum setback line.
6. Buildings located on curved frontage lines (see Regulating Plan) may substitute for that line a straight line located at the average depth of the curved line segment fronting the building.
7. Buildings at street corner lots shall clear a view triangle generated by connecting the two curb edges at a distance 30 feet from their intersection. If on-street parking is provided, the triangle shall be formed not along the curb but along the edges of the travel lane.



PERMITTED ENCROACHMENTS

## PERMITTED ENCROACHMENTS

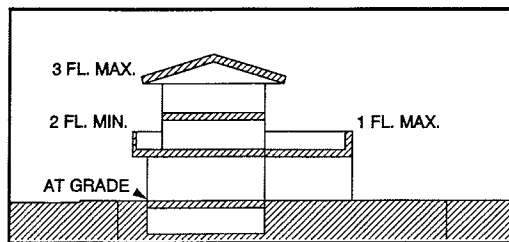
1. Balconies, paved yards, roof eaves, covered walkways and bay windows shall be permitted within the shaded areas shown in the diagram.
2. Bay windows may not encroach the vision triangle on corner lots.



PARKING

## PARKING

1. On-site parking spaces shall be provided only within the areas shown here.
2. Private parking spaces shall be no less than 9 ft. x 19 ft. with access to a street or alley.
3. Trash containers shall be located within the parking area.
4. One parking space is required for a one-bedroom unit.
5. Two parking spaces are required for a two-bedroom unit.
6. One and a half parking spaces are required per unit for commercial use.



BUILDING HEIGHT

## BUILDING HEIGHT

1. Heights shall be measured relative to the average fronting street elevation measured on the property line.
2. Minimum and maximum building heights shall be measured in number of floors, each not to exceed 13 foot floor to ceiling.
3. Buildings of warehouse and manufacturing uses are exempt from the 13 foot ceiling height limit.
4. Half stories indicate stories above the eave line, which receive light through dormers.
5. Basements are allowed as an additional floor without penalty.

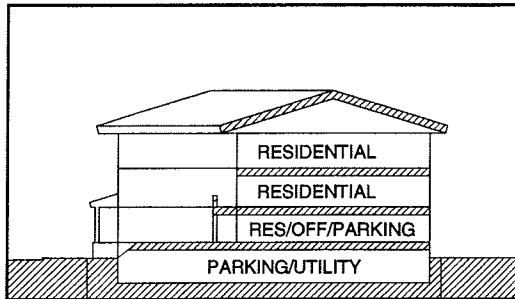
SECTION THREE  
URBAN REGULATIONS

TYPE V  
COURTYARD APARTMENT



## TYPE V—COURTYARD APARTMENTS

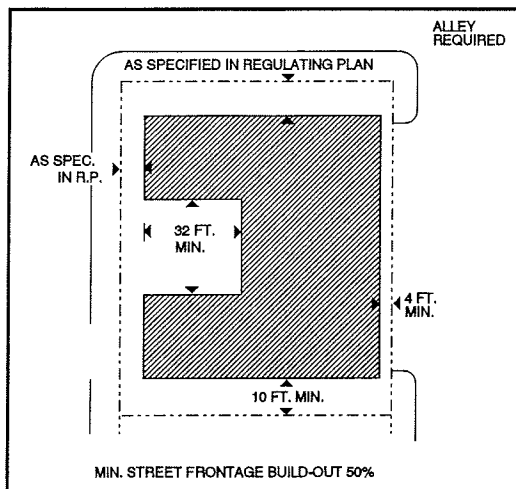
All building plans shall be submitted to the Middleton Hills Architectural Review Committee's office to confirm compliance with the standards below. Variances to the code may be granted on the basis of specific urban conditions. All building plans shall conform to the Wisconsin Administrative Code.



BUILDING USE

### BUILDING USE

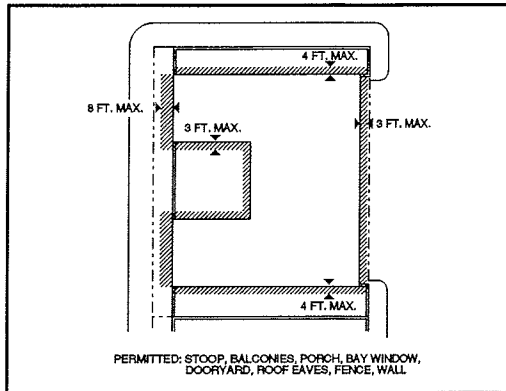
Uses of the buildings shall be as shown in the diagram.



BUILDING PLACEMENT

### BUILDING PLACEMENT

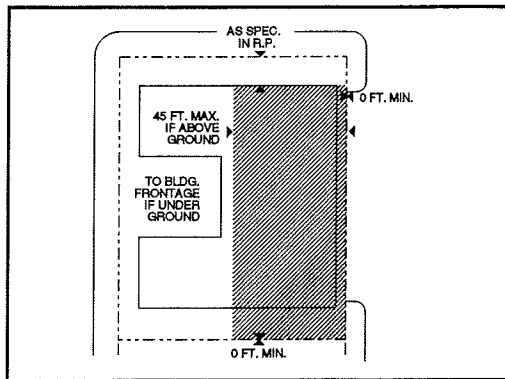
1. Buildings shall be set on lots relative to the property lines as shown here.
2. Building street facade must occupy 50% of the lot frontage.
3. Buildings at corner lots shall treat the frontage line at the apartment facade as specified on the Regulating Plan. The frontage line at the side of the house shall be treated as a minimum setback line.
4. Buildings located on curved frontage lines (see Regulating Plan) may substitute for that line a straight line located at the average depth of the curved line segment fronting the building.
5. Buildings at street corner lots shall clear a view triangle generated by connecting the two curb edges at a distance 30 feet from their intersection. If on-street parking is provided, the triangle shall be formed not along the curb but along the edges of the travel lane.



PERMITTED ENCROACHMENTS

## PERMITTED ENCROACHMENTS

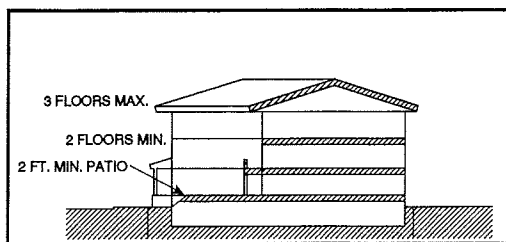
1. Balconies, stoops, open porches, roof eaves and bay windows shall be permitted within the shaded areas shown in the diagram.
2. Garden walls or fences shall be permitted in the shaded areas as shown in the diagram.
3. Porches and bay windows may not encroach the vision triangle.



PARKING

## PARKING

1. On-site parking spaces shall be provided only within the areas shown here.
2. Private parking spaces shall be no less than 9 ft. x 19 ft. with access to a street or alley.
3. Trash containers shall be located within the parking area.
4. One parking space is required per one-bedroom unit.
5. Two parking spaces are required per two-bedroom unit.



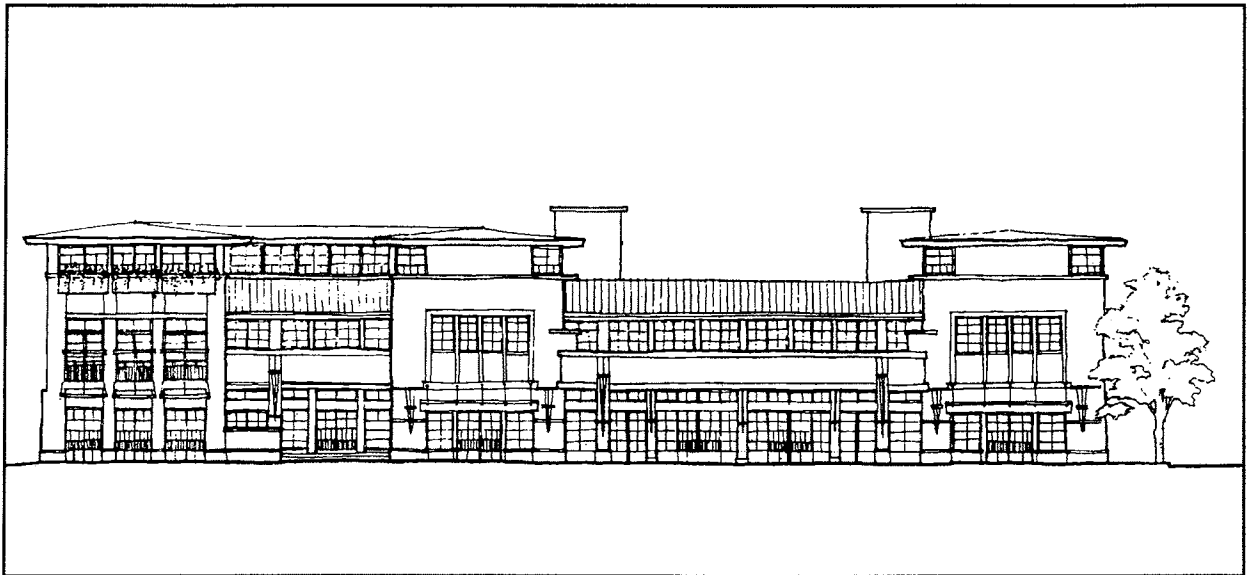
BUILDING HEIGHT

## BUILDING HEIGHT

1. Heights shall be measured relative to the average fronting street elevation measured on the property line.
2. Minimum and maximum building heights shall be measured in number of floors, each not to exceed 13 ft. floor to ceiling.
3. Half stories indicate stories above the eave line, which receive light through dormers.
5. Basements are allowed in all structures as an additional floor without penalty.
6. Fences and wall heights located within the vision triangle shall have a maximum height of 30 inches.

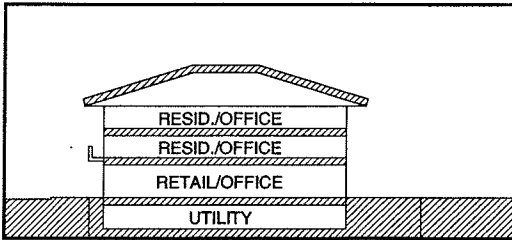
SECTION THREE  
URBAN REGULATIONS

TYPE VI  
SHOPFRONT/LOFT



## TYPE VI—SHOPFRONT/LOFT

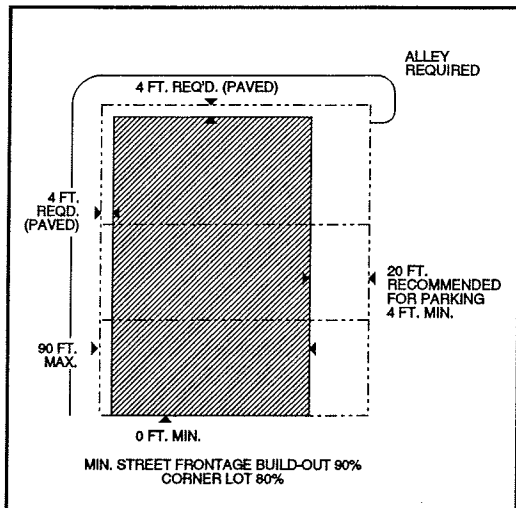
All building plans shall be submitted to the Middleton Hills Architectural Review Committee's office to confirm compliance with the standards below. Variances to the code may be granted on the basis of specific urban conditions. All building plans shall conform to the Wisconsin Administrative Code.



BUILDING USE

### BUILDING USE

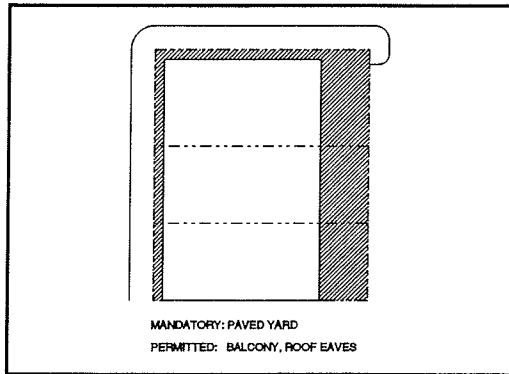
Uses of the buildings shall be as shown in the diagram.



BUILDING PLACEMENT

### BUILDING PLACEMENT

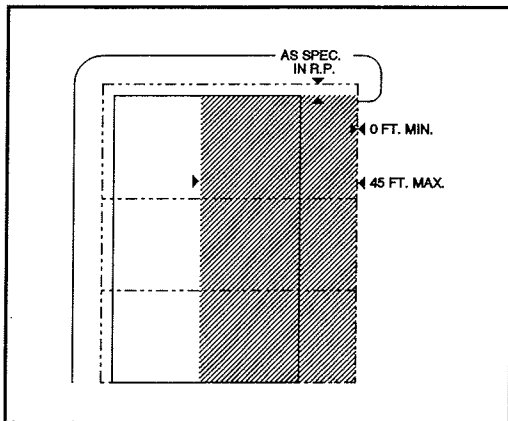
1. Buildings shall be set on lots relative to the property lines as shown here.
2. Building street facades must occupy 90% of the lot frontage. On corner lots, building street facade must occupy a minimum of 80% of the lot frontage.
3. In the absence of building walls, garden walls between 30 and 60 inches in height may be built on the frontage line to the full width of the lot. These walls may be interrupted by a gate up to 4 feet wide.
4. Buildings at corner lots shall treat the frontage line at the building facade as specified here. The frontage line at the side of the building shall be treated as a minimum setback line.
5. Buildings located on curved frontage lines (see Regulating Plan) may substitute for that line a straight line located at the average depth of the curved line segment fronting the building.
6. Buildings at street corner lots shall clear a view triangle generated by connecting the two curb edges at a distance 30 feet from their intersection. If on-street parking is provided, the triangle shall be formed not along the curb but along the edges of the travel lane.



PERMITTED ENCROACHMENTS

### PERMITTED ENCROACHMENTS

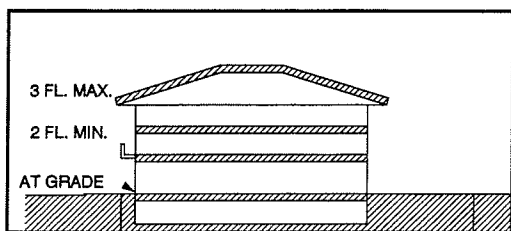
1. Paved yards are a mandatory encroachment beyond the build-to line.
2. Balconies and roof eaves are permitted encroachments beyond the build-to line.



PARKING

### PARKING

1. On-site parking spaces shall be provided only within the areas shown here.
2. Private parking spaces shall be no less than 9 ft. x 19 ft. with access to a street or alley.
3. Trash containers shall be located within the parking area and screened from public view.
4. One parking space is required per every 400 gross square feet of net office or commercial space.



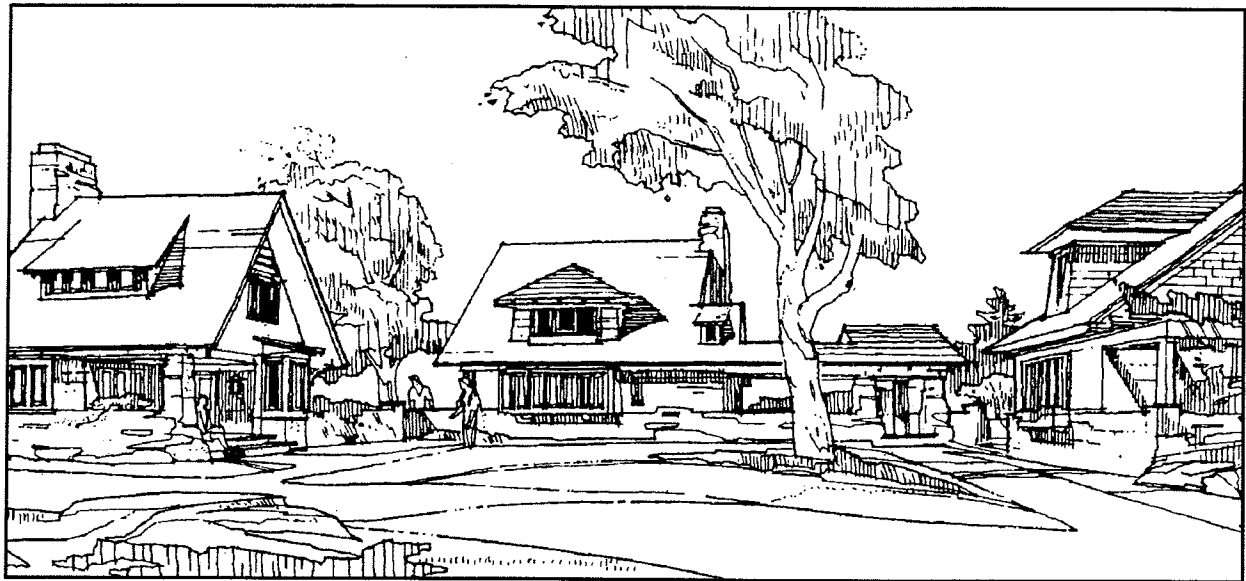
BUILDING HEIGHT

### BUILDING HEIGHT

1. Heights shall be measured relative to the fronting street elevation measured on the frontage line.
2. Minimum and maximum building heights shall be measured in number of floors, each not to exceed 13 foot floor to ceiling.
3. Buildings of warehouse and manufacturing uses are exempt from the 13 foot ceiling height limit.
4. Half stories indicate stories above the eave line, which receive light through dormers.
5. Basements are allowed as an additional floor without penalty.

SECTION FOUR

# ARCHITECTURAL REGULATIONS



## PURPOSE

In order to form a harmonious community, the Architectural Regulations recognize regional characteristics within the broad range of styles of building found in Dane County. They seek to produce buildings which share the characteristics of the Prairie, Arts & Crafts, and Bungalow traditions with respect to form and materials. Like these traditions, the Regulations seek to unite an informal domestic realm with the social and natural world in a manner which fosters both community and privacy. These traditions represent a natural progression from the various historical styles which preceded them. The Prairie, Arts & Crafts, and Bungalow styles possess neither the rigidity of traditional architecture nor the compulsive openness of modern architecture. The flexibility and orderliness of the three styles make them ideal contemporary models.

## INTRODUCTION

1. These regulations are provided to assist architects in designing buildings which are compatible with the Prairie, Arts & Crafts, and Bungalow traditions.
2. These Architectural Regulations are to be applied in conjunction with the Urban Regulations, Landscape Regulations, and the Regulating Plan.
3. Exceptions to this code will be granted on the basis of architectural merit or historical precedent.
4. Prior to beginning the design process, it is recommended that lot owners and their designers contact the Middleton Hills Architectural Review Committee to verify their interpretation of these codes.
5. It is recommended that the designers visit and study the Prairie, Arts & Crafts, and Bungalow buildings of the Dane County region.
6. Every building shall be made up of at least one each of the three basic components:
  - a) a Roof Element
  - b) a Middle Element composed of either a Single Band extending from the base to the roof, or of alternating layers of Open and Closed Bands.
  - c) a Base Element
7. All colors and materials must be approved by the Middleton Hills Architectural Review Committee.
8. The architectural and landscape elements of the site design are considered to be integral to the overall architectural design. Regulations defining the site design elements are described in the "Yards" section of the Architectural Regulations and in the Landscape Regulations.

## BASE ELEMENT

### FOUNDATIONS

1. The Base Element visually and structurally connects the building with the ground. It may appear as a platform or terrace upon which the house stands or as a built extension of the ground integrated with the house above. This element may be a water table of masonry or concrete, or may extend upwards and integrate with the Middle Element.
2. On sloping ground, siding shall remain at least 1'-0" above grade, and the upper edge of the water table shall remain level, stepping down the slope in increments of 4' or less.
3. Foundation walls shall be exposed a maximum of 18" above the ground unless they are integral with the lowest closed band. On sloping grades, refer to #2 above. Concrete foundations exposed more than 3 ft. above grade must have an architectural finish.
4. Exposed foundation walls or water tables shall be built of brick, cut stone, fieldstone, smooth-finished poured concrete or synthetic stucco.

## MIDDLE ELEMENT

The Middle Element may be composed of a Single Band extending from the Base Element to the Roof Element or it may be composed of alternating layers of Open and Closed Bands.

### SINGLE BAND

1. Windows shall not exceed 50% of the wall area, measured on each elevation.
2. Windows shall be placed such that:
  - A) single windows are no closer to another window than the width of the window
  - B) a window is no closer to a corner than the width of a single window
  - C) for window groupings, the space between groups shall be no less than a single window width

### ALTERNATING OPEN AND CLOSED BANDS

#### CLOSED BANDS

1. Closed bands shall be at least 3'-0" in height.
2. Openings in any closed band shall not exceed one-third of the wall area on each facade.
3. Window placement shall be the same as for a Single Element described above.
4. Closed Bands may be integral with the Base Element and extend uninterrupted to the ground.

#### OPEN BANDS

1. Open bands shall have a minimum of 60% of the band area as glass or unglazed openings, (i.e. porch openings).
2. Window openings in open bands shall occur in multiples of the typical window width, such that the window group is square or horizontal in proportion. Corner windows are encouraged.
3. Fixed windows of horizontal proportion shall be flanked by one operable window on each side. These two flanking windows shall be of identical width.
4. Window openings shall fill the entire height of the band between the sill and head trim pieces.
5. Each open band shall have sill and head trim which shall run uninterrupted for the length of the band.

#### BAND HEIGHT

1. Changes in band height may occur only at inside corners of intersecting walls.

### OPENINGS

1. Windows shall be made of painted or stained wood or clad in vinyl or metal.
2. Glass shall be clear and free of color. Stained glass, art glass, and frosted glass are permitted only subject to the approval of the Middleton Hills Architectural Review Committee.
3. Each operable window shall be square or vertical in proportion.
4. Window muntins shall be or appear to be true divided lights. (Only exterior snap-ins are acceptable.)
5. When directly below the roof, the window head trim shall meet the soffit.
6. Each band shall have sill and head trim raised from the vertical surface, and such trim shall run uninterrupted on each facade upon which it is imposed, except for windows at stairways.
7. Buildings with wood exteriors shall have all openings trimmed in wood bands of minimum 4" nominal width. Buildings with fiber cement siding shall have all openings trimmed in fiber cement board or wood bands of minimum 4" nominal width.
8. Bay window projections shall extend to the ground. Cantilevered bays are only acceptable on structural brackets approved by the Middleton Hills Architectural Review Committee.
9. Bay window projections shall be wide enough to accommodate a minimum of 3 windows and may overlap some or all of the bands with the exception of the roof.
10. Shutters are not permitted. Canvas awnings are permitted and shall be square cut without side panels.
11. It is encouraged that front doors be made of solid wood.
12. Doors of the sliding variety may only be used in backyard locations.
13. Garage doors shall be plain (no pattern), and shall be built of wood, steel, or fiberglass with a wood veneer. Whenever alleys are not available, it is encouraged that garage doors do not face the street. In a condition that garage doors do face the street, doors shall be or appear to be separated for each vehicle.
14. Single arched openings shall be permitted only above the main entry door and/or at each main gable.

## ROOF ELEMENT

### GENERAL

1. Pitched roofs shall be clad with naturally aging copper, cedar shingles, or natural slate. Artificial slate, standing-seam galvanized metal or asphalt/fiberglass shingles are permitted if the material and color is approved by the MHARC. The color of these alternate materials must fall within the color range of weathered copper.
2. Principal roofs shall be a symmetrical hip or gable form with a pitch between 4:12 and 6:12. Steeper roofs are only permitted on authentically designed Craftsman style houses.
3. Flat roofs with overhanging eaves are permitted on Building Types III, IV, and VI.
4. Flat roofs comprising less than 30% of the total roof area are permitted on all buildings. Flat roofs used as balconies on street facades shall be enclosed with solid railings and integrated with a closed band.
5. Skylights shall be flat in profile (no bubbles or domes).
6. Skylights and solar panels shall be applied parallel and flat to the roof.
7. Roof protrusions other than chimneys and plumbing vent stacks shall not be placed on a roof facing a street or public space.

### DORMERS

1. A dormer width shall be at least wide enough to accommodate three windows.
2. Dormers shall have shed or hip roofs.
3. Shed dormers shall have a pitch of at least 2:12. Hip dormers shall have the same pitch as the main roof volume.
4. Eyebrow dormers are also permitted.

### EAVES

1. Overhanging eave depth shall be no less than 32", except in the case of eaves overhanging gable ends, which must protrude at least 18" (or at least 12" on accessory structures.)
2. The eave may be encroached by a bay window or windows for no more than half of the running length of each facade, cumulatively.
3. Closed soffits shall be of material other than vinyl or aluminum.
4. Gutters shall be built of wood, copper, or painted metal.
5. Gutters shall be half-round or rectangular and downspouts shall be circular or rectangular.

### CHIMNEYS

1. Chimneys shall be constructed of stone, brick or stucco.
2. Chimneys shall be at least 3' x 5' in plan for lots larger than 60' in width, and at least 2' x 4' for smaller lots.
3. Prefabricated metal flues shall be concealed within a chimney. Chimney caps may extend no more than 16" above the chimney top.
4. It is strongly encouraged that chimneys emerge from the highest roof volume.

ARCHITECTURAL REGULATIONS-----WALLS AND FACADES

## WALLS AND FACADES

1. The planning module for the façade shall be based on the width of the most common window.
2. All facades of a building shall be made of the same materials and similarly detailed.
3. Facades may change their primary material only at a band change. The intent of the code is that facades appear to have heavier materials on the bottom and lighter materials above (i.e., concrete and masonry shall be below wood or stucco).
4. Building walls shall be clad in smooth cut cedar shingles, wood clapboard, wood drop siding, wood board and batten, brick or stone approved by the Middleton Hills Architectural Review Committee. Stucco or EIFS with a smooth or roughcast (pebbled) finish, is also permitted upon approval. Engineered composite wood siding with a wood grain texture shall be permitted and applied in the directional pattern described in item #7.
5. The color palette of the body of the house shall be from white, cream, oak or earth tones. All trim, frames, doors, and windows shall be in a compatible accent color.
6. Exterior wood shall be painted or stained.
7. Wood siding shall be run horizontally, with the only exception being between windows in Open Bands, where it may be run vertically.
8. Wood siding in the directional patterns described in #7 above may be replaced by fiber cement siding, but only with a smooth texture. Fiber cement siding in a simulated wood texture shall not be permitted.
9. Brick surfaces shall be predominately a horizontal running bond pattern.
10. Stone shall be set in an un-coursed pattern with a horizontal orientation.
11. No diagonals (sloping lines) other than roof slopes shall be visible on any façade.

## PORCHES

1. Porch railings on Prairie designs are encouraged to be closed and constructed of the same material as the adjacent closed band.
2. Front stoops shall be made of brick, concrete, or stone. Wood may be used only when constructed to form an apparently solid mass.
3. Main entry doors on Building Types I, II and V are encouraged to be either within a porch and/or recessed a minimum of 6' from the primary facade of the house.
4. Porch supports shall be stone, masonry or concrete piers no less than 16" x 16" square, or wood piers no less than 12" x 12" square. Tapered columns may not be smaller than 8" x 8" at the top.
5. The balustrade and the space below porches shall be closed and integrated into a closed band, interrupted as necessary for drainage.
6. Column spacing (intercolumnation) shall be typically horizontal in proportion.
7. Exterior stairs visible from nearby streets or public spaces shall only show stepped horizontal railings, except that diagonal handrails may be attached thereto.
8. Flower boxes and planters shall be made of materials integrated into a closed band.
9. Front porches are intended to be open to allow for interaction with the street. Screens and glazing are not permitted.

## DECKS

1. Decks may be located only in rear yards. The space below first floor decks visible from nearby streets or public spaces shall be wood lattice with a maximum of 1-1/2" space between strips. Said lattice shall be applied in a non-diagonal design, between and not concealing deck supports. Decks shall not be cantilevered (this does not apply to balconies on upper stories of live/work units).

## PIERS

(Applies to Prairie Style only)

1. Piers superimposed across bands are required on commercial buildings and encouraged on residential buildings, especially large houses.
2. Piers shall overlay at least one open band and one adjacent closed band, and shall either:
  - A) connect the ground or foundation to the roof, or
  - B) connect the ground or foundation to a second Closed Band.
3. Masonry piers attached to the facade (i.e., not free-standing) shall be a minimum of 12" wide, wood piers shall be a minimum of 4" wide and protrude no less than 2" beyond the surface of any horizontal band or trim.
4. Piers shall be spaced in coordination with the window width module.

## YARDS

### GENERAL

1. Fence design and location must be approved by the Middleton Hills Architectural Review Committee. Fences and gates must be made of wood but not split rail. Fence designs should have a cap board, or if a picket fence, have a flat top or dog ear cut.
2. Garden walls and retaining walls visible from nearby streets or public spaces shall match the water table or the lowest closed band, and shall be built of brick, stone, stucco, shingles, or poured-in-place concrete with a surface texture approved by the Middleton Hills Architectural Review Committee. Garden walls should appear as an extension of the building and are encouraged to be of the same building material as the structure. Gates in garden walls shall be made of wood or painted metal.
3. Hedges may replace mandatory walls and fences subject to the approval of the Middleton Hills Architectural Review Committee.
4. Front driveways shall be of asphalt, or built of brick or concrete pavers approved by the Middleton Hills Architectural Review Committee.
5. Whenever alleys are not available, it is encouraged that driveways and curb cuts be shared. It is also encouraged that, where practicable, buildings share entry walkways with at least one adjacent building.
6. Whenever a garage fronts a street, it is encouraged that the doors be or appear to be separated for each vehicle.

SECTION FIVE

# LANDSCAPE REGULATIONS



## FRONT YARD

### GENERAL NOTES

The objective of the Front Yard Codes is to revive the traditional American practice that treats the front of the house as part of a common, public landscape, a privately owned linear park. The type of landscaping that is encouraged is regional and harmonized with the Architectural Regulations.

Depending on the size of their yard and lot, property owners may be required to plant trees and/or ground cover in the front yard, as described in this document. This practice will provide wind shelter and create the impression of a wooded village, common to our most valued early American suburbs.

Property owners are responsible for following the General Regulations as well as the Site-Specific Regulations which apply to their homesite.

### GENERAL REGULATIONS

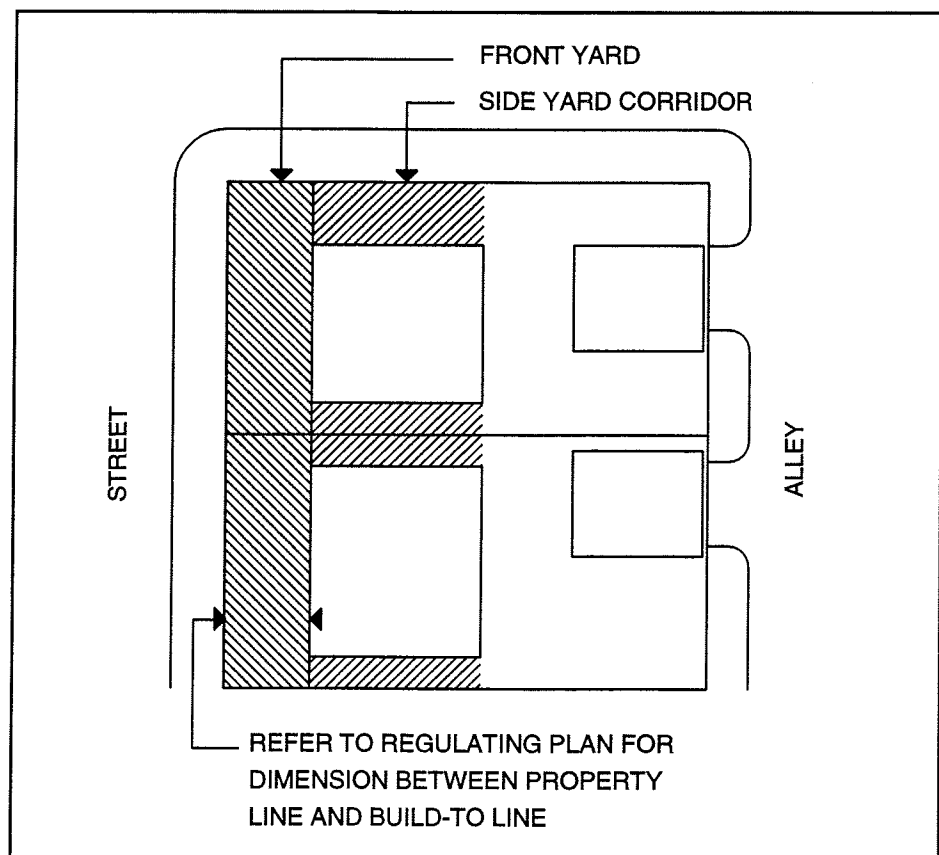
- Variegated, columnar, weeping, contorted, or unnaturally pruned cultivars are not permitted in the front yards.
- When selecting a species from the Plant List, it is the responsibility of the property owner to check the appropriateness of that species with specific site conditions.
- Planting beds shall be mulch or earth tone stone (not white).

### SITE SPECIFIC REGULATIONS

Each homesite in Middleton Hills corresponds to one box in the matrix on the next page, based upon the depth of the front yard and the width of the lot. Once the corresponding box has been located, the homebuyers need only concern themselves with the categories of front-yard landscaping listed therein. The categories of planting which are not listed **do not apply** to that homesite.

### DEFINITIONS

- Front Yard:* The area from the Build-to Line to the Property Line, and from side lot line to side lot line.
- Side Yard Corridor:* The area from the side of the house to the side lot line. The Front Side Yard is the side yard dimension carried forward from the face of the house to the front property line.



## SITE SPECIFIC FRONT YARD REGULATIONS

<p>NARROW LOT</p> <p>LESS THAN 40' WIDE AT FRONT PROPERTY LINE</p>	<p>STANDARD WIDTH LOT</p> <p>40-60' WIDE AT FRONT PROPERTY LINE</p>	<p>WIDE LOT</p> <p>GREATER THAN 60' WIDE AT FRONT PROPERTY LINE</p>
<p><i>SHALLOW YARD</i> less than 12' in depth</p> <p><b>REQUIRED</b> HORIZONTAL MASS (where not prevented by building encroachment)</p> <p><u>PERMITTED/ENCOURAGED</u> EVERGREEN TREE (in Side Yard Corridor only) UNDERSTORY TREE (in Side Yard Corridor only)</p>	<p><i>SHALLOW YARD</i> less than 12' in depth</p> <p><b>REQUIRED</b> HORIZONTAL MASS (where not prevented by building encroachment)</p> <p><u>PERMITTED/ENCOURAGED</u> EVERGREEN TREE (in Side Yard Corridor only) UNDERSTORY TREE (in Side Yard Corridor only)</p>	<p><i>SHALLOW YARD</i> less than 12' in depth</p> <p><b>REQUIRED</b> HORIZONTAL MASS (where not prevented by building encroachment)</p> <p><u>PERMITTED/ENCOURAGED</u> EVERGREEN TREE (in Side Yard Corridor only) SMALL GROVE UNDERSTORY TREE (in Side Yard Corridor only)</p>
<p><i>STANDARD DEPTH YARD</i> 12-20' in depth</p> <p><b>REQUIRED</b> HORIZONTAL MASS</p> <p><u>PERMITTED/ENCOURAGED</u> EVERGREEN TREE (to the side of any building encroachment) UNDERSTORY TREE (to the side of any building encroachment)</p>	<p><i>STANDARD DEPTH YARD</i> 12-20' in depth</p> <p><b>REQUIRED</b> HORIZONTAL MASS</p> <p><u>PERMITTED/ENCOURAGED</u> SINGLE TREE UNDERSTORY TREE (to the side of any building encroachment) EVERGREEN TREE (as a substitute for the Single Tree)</p>	<p><i>STANDARD DEPTH YARD</i> 12-20' in depth</p> <p><b>REQUIRED</b> HORIZONTAL MASS SINGLE TREE (to the side of any encroachment)</p> <p><u>PERMITTED/ENCOURAGED</u> WOODLAND TREES EVERGREEN TREES (as substitutes for the Single Tree) SMALL GROVE UNDERSTORY TREE (to the side of any building encroachment)</p>
<p><i>DEEP YARD</i> greater than 20' wide in depth</p> <p><b>REQUIRED</b> HORIZONTAL MASS</p> <p><u>PERMITTED/ENCOURAGED</u> SINGLE TREE EVERGREEN TREE (as a substitute for the Single Tree) SMALL GROVE UNDERSTORY TREE</p>	<p><i>DEEP YARD</i> greater than 20' wide in depth</p> <p><b>REQUIRED</b> HORIZONTAL MASS SINGLE TREE</p> <p><u>PERMITTED/ENCOURAGED</u> EVERGREEN TREES (as a substitute for the Single Tree) SMALL GROVE UNDERSTORY TREE</p>	<p><i>DEEP YARD</i> greater than 20' wide in depth</p> <p><b>REQUIRED</b> HORIZONTAL MASS SINGLE TREE</p> <p><u>PERMITTED/ENCOURAGED</u> WOODLAND TREES (as a substitute for the Single Tree) EVERGREEN TREES (as a substitute for the Single Tree or the Woodland Trees) SMALL GROVE UNDERSTORY TREE</p>

## HORIZONTAL MASS

A required single species planting of permitted small shrubs, prairie grasses, or perennials to form one cohesive horizontal mass. The Horizontal Mass should respect the architectural lines of the house, and should not obscure views to and from streets, porches, and walks.

The Horizontal Mass is planted in a row parallel to the front of the house, just forward of the rain shadow created by overhanging eaves. These plants should cover at least 70 percent of the width of the house, unless prevented by access requirements. An equivalent mass of perennials is permitted if they are light colored. (Hot or strong colors are acceptable only in the rear yards.)

The remainder of the front yard is planted with a lawn and/or ground covers taken from the lists on the next page.

Sizes and Spacing: For evergreen shrubs: 15 to 18 inches in height, 3 to 5 feet on center, with no shearing so that plants may form a mass. For deciduous shrubs: 18 to 24 inches minimum height, 2-1/2 to 5 feet on center, depending on growth habit.

## PLANT LIST

### EVERGREEN SHRUBS

Holly, China Boy or China Girl	Ilex x meserveae 'China Boy' or 'China Girl'
Ink Berry	Ilex glabra 'nordic'
Junipers (Low, spreading)	Juniperus spp.
Mugo Pine	Pinus mugo
Yews	Taxus spp.
(Low, horizontally branching varieties; i.e. baccata 'Rapandens' or cuspidata 'Blairs spreading')	

### DECIDUOUS SHRUBS

Alpine Currant	Ribes alpinum
Barberry (green varieties)	Berberis thunbergii
Compact Burning Bush	Euonymus alataus 'Compactus'
Compact Viburnums	Viburnum carlesii 'Compacta', opulus 'Compactum', other low viburnums
Cotoneasters	Cotoneaster spp.
Dwarf Bush Honeysuckle	Diervilla lonicera
Dwarf Cranberry Bush	Viburnum trilobum 'Compactum'
Gro-low Fragrant Sumac	Rhus aromatica 'Gro-low'
New Jersey Tea	Ceanothus americanus
Slender Deutzia	Deutzia gracilis
Spireas	Spirea bumalda, japonica, nipponica

## LANDSCAPE REGULATIONS—FRONT YARD CONTINUED

### RECOMMENDED LAWNS

Choose low maintenance fescues and bluegrass varieties to eliminate the need for irrigation and chemical fertilizers.

### RECOMMENDED GROUND COVERS

Bugleweed	Ajuga Reptans
Baltic Ivy	Hedera helix
Barren Strawberry	Waldsteinia ternata
Bearberry	Arcostaphylus uva-ursi
Bunchberry	Cornus canadensis
Carpathian Harebells	Campanula carpatica
Creeping Phlox	Phlox subulata
Daylilies	Hemerocallis spp.
False Strawberry	Duchesnia major
Forget-Me-Not	Mysotis scorpiodes 'Semperflorens'
Hosta, Plantain Lily	Hosta spp.
Lady's Mantle	Alchemilla spp.
Lamb's Ears	Stachys spp.
Lamium	Lamium spp.
Lily of the Valley	Convallaria majalis
Myrtle	Vinca minor
Japanese Spurge	Pachysandra terminalis
Sensitive Fern	Onoclea sensibilis
Stonecrop	Sedum spp.
Sweet Woodruff	Galium odoratum
Violets	Viola spp.
Wild Ginger	Asarum canadense
Wintercreeper	Eunonymus fortunei coloratus

## LANDSCAPE REGULATIONS – FRONT YARD CONTINUED

### SINGLE TREE

A single deciduous canopy tree for the front yard, selected from the list below.

Size at time of planting: 2-1/2 inch caliper or 12 feet tall,  
5-foot branching height.

#### Plant List

American Beech (large lots only)	<i>Fagus grandifolia</i>
American Elm 'Pioneer', 'Regal' 'New Horizon'	<i>Ulmus americana</i> var.
American Yellowwood	<i>Cladrastis lutea</i>
Black Walnut	<i>Juglans nigra</i>
Bur Oak (large lots only)	<i>Quercus macrocarpa</i>
Catalpa	<i>Catalpa speciosa</i>
Freeman Maple	<i>Acer x freemani</i>
Ginkgo	<i>Ginkgo biloba</i>
Green Ash	<i>Fraxinus pennsylvanica</i> 'Marshall's Seedless'
Honey Locust	<i>Gleditsia triacanthos</i> 'Inermis'
Horsechestnut (large lots only)	<i>Aesculus hippocastanum</i>
Katsura Tree	<i>Cercidiphyllum japonica</i>
Kentucky Coffee Tree	<i>Gymnocladus dioica</i>
Littleleaf Linden	<i>Tilia cordata</i>
Northern Red Oak	<i>Quercus rubra</i>
Ohio Buckeye (large lots only)	<i>Aesculus glabra</i>
Pin Oak (requires acid soil)	<i>Quercus palustris</i>
Red Maple	<i>Acer rubrum</i> 'Autumn Flame'
Redmond Linden	<i>Tilia americana</i>
Shagbark Hickory	<i>Carya ovata</i>
White Ash	<i>Fraxinus americana</i>
White Oak	<i>Quercus alba</i>
Sugar Maple	<i>Acer saccharum</i>

## WOODLAND TREES

Tall, deciduous canopy trees in scale with the yard, planted in multiples. These can be planted closely or not, but one tree trunk must at least touch the Front Side Yard area.

Size at Time of Planting: Minimum 2-1/2 inch caliper for trees, planted in groups of three or more. Minimum spacing 12 feet apart.

### Plant List

Choose from the Single Tree plant list, with the addition of the following:

Hedge Maple	Acer campestre
Heritage River Birch	Betula nigra 'Heritage'
Ironwood	Carpinus caroliniana
Quaking Aspen	Populus tremuloides
River Birch	Betula nigra
Striped Maple	Acer pennsylvanicum
Whitespire Japanese Birch	Betula platyphylla var. japonica

## EVERGREEN TREES

Evergreen trees provide a buffer from the wind and extend the outdoor living season for both the front and rear yards. However, in order to lessen shadows cast on neighbors' south-facing frontages, taller evergreens (noted with an asterisk) must be kept back a minimum of 8 feet from north and northwest side lot lines.

Size at Time of Planting: Minimum of 5 feet height.

### Plant List

Black Hills Spruce	Picea glauca 'Densata'
Douglas Fir	Pseudotsuga menziesii
Eastern Red Cedar	Juniperus virginiana
Fraser Fir	Abies fraseri
Red Pine (large lots only)	Pinus resinosa
Serbian Spruce	Picea omorika
Swiss Stone Pine	Pinus sembra
White Cedar	Thuja occidentalis
White Fir	Abies concolor
White Pine (large lots only)*	Pinus strobus
White Spruce*	Picea glauca (no blue variety)

## LANDSCAPE REGULATIONS—FRONT YARD CONTINUED

### SMALL GROVE

Three or more small trees that are harmonious among themselves and with the style of architecture. They should be of the same species, planted in odd numbered multiples, spaced 8 to 12 feet apart. One of the grouping must touch the Front Side Yard area.

Size at Time of Planting: Minimum of 6 feet tall.

#### Plant List

Amur Maple	Acer ginnala
Callery Pear	Pyrus calleryana
Cornelian Cherry	Cornus mas
Crab Apple	Malus spp.
(white or near-white flowering varieties)	
Eastern Redbud	Cercis canadensis 'Columbus'
Hawthorns	Crataegus spp.
Hornbeam, Musclewood	Carpinus caroliniana
Ironwood	Ostrya virginiana
Japanese Tree Lilac	Syringa reticulata
Pagoda Dogwood	Cornus alternifolia
Serviceberry	Amelanchier canadensis
Star Magnolia	Magnolia stellata
Viburnums	Viburnum lantana, lentago
(use more upright tree forms)	

All other white or near-white flowering small trees are permitted.

### UNDERSTORY TREE

A single small tree, typically a flowering, horizontal branching variety. Plant from the Small Grove tree list, with the same size requirement.

## REAR YARD

### GENERAL NOTES

The modern practice of suburban landscaping typically destroys the traditional and vital interaction with birds and wildlife, replacing it with a silent nature. To combat this trend, the code for the rear yard strongly encourages that a minimum number of native species (shrubs and small trees) be planted that are friendly to birds. The Wildlife Backs Code encourages wildlife-friendly shrubs in an informal or mixed hedge at the yard perimeter, as well as the planting of one tree that is friendly or sheltering to wildlife.

### REGULATIONS

Deciduous canopy trees and evergreen trees are permitted in the side yard corridor, adjacent to the house. Deciduous trees must be planted a minimum of 8 feet from the eaves. Evergreen trees must be planted a minimum of 6 feet from the eaves.

Windbreaks consisting of a row of evergreen trees are permitted and encouraged for the north and northwest side and rear lot lines, but must be held back a minimum of 8 feet from the lot line when adjacent to a neighbor.

Property owners may choose their own gardens, lawn, perennials, native grasses and/or ground covers for the Ground Plane in the rear yard.

Fence design and location must be approved by the Middleton Hills Architectural Review Committee. Fences and gates must be made of wood but not split rail. Fence designs should have a cap board, or if a picket fence, have a flat top or dog ear cut.

### THE WILDLIFE BACKS CODE

Property owners will note that the Wildlife Backs Code is a recommendation rather than a requirement. While the town planners for Middleton Hills recognize the right of the individual homebuyer to unrestricted rear-yard landscaping, they hope that those citizens who share in their vision for the community will choose to follow the directions below.

### WILDLIFE HEDGES

All property owners are strongly encouraged to create a loose, informal "hedge" of wildlife-friendly shrubs, continuous along at least one side of the rear yard. Plant a variety of at least three shrubs, of any size. Space shrubs 3 to 6 feet apart.

#### Plant List

American Bladdernut	Staphylea
American Filbert	Corylus americana
American Plum	Prunus americana
Black Chokeberry	Aronia melanocarpa
Cockspur, other Hawthorns	Crataegus crusgalli, other Crataegus spp.
Common Chokecherry	Prunus virginiana
Common Winterberry	Ilex verticillata
Common Witchhazel	Hamamelis virginian
Cranberrybush Viburnum	Viburnum trilobum
Elderberry	Sambucus canadensis
Gray Dogwood	Cornus racemosa
Meadow Spirea	Spirea alba
Nannyberry Viburnum	Viburnum lentago
Serviceberry	Amelanchier canadensis
Smooth, Sumac	Rhus glabra
Staghorn Sumac	Rhus typhina
Ural False Spirea	Sorbaria sorbifolia

All other native shrubs not specifically listed are permitted.

## LANDSCAPE REGULATIONS— REAR YARD CONTINUED

### WILDLIFE TREES

All property owners are strongly encouraged to plant one tree, of any size, that is friendly or sheltering to wildlife. Plant a minimum of one tree from the list.

#### Plant List

American Yellowwood	Cladrastis lutea
Ash, Green or White	Fraxinus spp.
Balsam or Douglas Fir	Abies balsamia
Basswood	Tilia americana
Black Cherry	Prunus serotina
Black Walnut**	Juglans nigra
Bur Oak	Quercus macrocarpa
Butternut	Juglans cinerea
Eastern Red Cedar	Juniperus virginiana
Hackberry	Celtis occidentalis
Ironwood	Ostrya virginiana
Kentucky Coffeetree	Gymnocladus dioica
Northern Red Oak	Quercus rubra
Paper Birch	Betula papyrifera
Pin Oak	Quercus palustris
Red Maple	Acer rubrum 'Autumn Flame'
Red Pine	Pinus resinosa
River Birch	Betula nigra
Shagbark Hickory	Carya ovata
Swamp White Oak	Quercus bicolor
Swiss Stone Pine	Pinus sembra
Tamarack	Larix laricina
White Cedar	Thuja occidentalis
White Oak	Quercus alba
White Pine	Pinus strobus
White Spruce	Picea glauca

All other native trees not specifically listed are permitted.

## ALLEYS

Lots adjacent to alleys have an area approximately 8 feet from the edge of the alley pavement that is owned by the Middleton Hills Neighborhood Association and is considered the alley terrace. Similar to the public street terrace, the adjacent lot owner must maintain this area. The alley terrace must remain clear of obstructions that would interfere with passing vehicles, snowplows, snow storage and garbage trucks. Boulders, fountains, basketball nets, poles and other similar structures are not permitted. It is recommended that a two to three foot shoulder be installed for ease of maintenance. Any materials or plants located in this area are at the risk of the homeowner and must be approved by the Middleton Hills Architectural Review Committee. Any such approved alterations and plantings located in the alley terrace are at risk for damage by maintenance and service vehicles. The lot owner is responsible for promptly repairing any such damage as soon as reasonably practicable.

Unless prevented by a utility easement or garage access, the owner shall plant a minimum of one tree for each lot smaller than 60 feet, two trees for each lot larger than 60 feet. (Commercial and townhouse lots are exempted.) Trees should be planted at the back of the lot in order to create a canopy over the alley. Any tree planted in the alley terrace must be a minimum of 6 feet from the alley pavement. It is the responsibility of the Owner to contact the appropriate utility companies before digging. Tree size shall be a minimum of 2" caliper. Choose a species from the following list:

Black Cherry  
Black Walnut  
Green Ash

Hackberry  
Honey Locust  
Ironwood  
Kentucky Coffeetree  
Northern Red Oak (on ridges, hilltops)  
Ohio Buckeye  
Horsechestnut  
Red Maple  
Redmond Linden  
Shagbark Hickory  
Sugar Maple  
White Ash

*Prunus serotina*  
*Juglans nigra*  
*Fraxinus pensylvanica* – 'Marshall's Seedless'  
*Celtis occidentalis*  
*Gleditsia triacanthos* 'Inermis'  
*Carpinus caroliniana*  
*Gymnocladus dioica*  
*Quercus rubra*  
  
*Aesculus glabra*  
*Aesculus hippocastanum*  
*Acer rubrum* 'Autumn Flame'  
*Tilia Americana*  
*Carya ovata*  
*Acer saccharum*  
*Fraxinus Americana*

SECTION SIX

# DESIGN REVIEW PROCESS



# I. DESIGN REVIEW PROCESS

## GENERAL REQUIREMENTS

1. Submit two copies of the required documents for each design review to the:

Middleton Hills Architectural Review Committee (MHARC)  
5117 University Avenue  
Madison, WI 53705

The design review cycle begins on Monday of each week. Submittals must be received by noon on Friday of the previous week. All documents must be dated and labeled "Middleton Hills".

2. Upon MHARC review, the owner will be notified within ten (10) business days after the start of the review cycle date that the design has been (1) approved, (2) approved with stipulations, or (3) disapproved.

The reasons for approval with stipulation and disapproval will be clarified for the owner in writing and/or with drawings. If the MHARC does not contact the owner within ten (10) business days of the review commencement date, the application shall not be deemed "approved".

3. Historic interpretation submittals must be supplemented with a written and/or graphic description of the historic precedent.

4. An application for withdrawal may be made without prejudice, provided the request for withdrawal is made in writing to the MHARC.

5. All variance requests pertaining to the MHARC approvals must be made in writing to the MHARC. Any variance granted shall be considered unique and will not set any precedent for future decisions.

6. If an application has been denied, or the approval is subject to conditions which the owner feels are unacceptable, the owner may request a hearing before the MHARC to justify his/her position. The MHARC will consider the arguments and facts presented by the Owner and notify the owner of its final decision within ten (10) days of the hearing. If the Owner is still dissatisfied, the Owner has the right to appeal the recommendation of the MHARC to the Board in accordance with the procedures established for such appeals in the Declaration and in more detail in the Bylaws.

### STEP 1. SKETCH DESIGN REVIEW

In addition to verifying the setbacks as indicated on the Regulating Plan, this review checks the designs for correct interpretation of the Urban, Architectural and Landscape Regulations.

1. Form Required: Form A - Sketch Review Application

2. Drawings Required on 11" x 17" sheets:

- Site Plan (1/8" = 1'-0") showing:
  - North arrow.
  - Property lines and setback lines with dimensions
  - Building footprints with entries, porches and balconies delineated, show overhangs as dashed lines.
  - Dimensioned drives, walks, gardens, and pools.
  - Existing tree trunks and canopies with diameter dimensioned.
  - Elevation of first floor.
  - Site contours beginning at the street centerline
  - Landscape concept.
- Floor Plans (1/8" = 1'-0") showing:
  - Room use and dimension.
  - All windows and doors with swings shown.
  - All overhangs of floors and roofs as dashed lines.
  - Overall dimensions.
  - Total enclosed square footage.
- Elevations (1/8" = 1'-0") showing:
  - Porches, balconies, doors and windows.
  - Principal materials rendered and specified.
  - Height of each floor, eaves and roof peak dimensioned from the first floor.
  - Overall height from ground level.
  - Roof pitch.
- Roof Plan (1/8" = 1'-0")

## STEP 2. CONSTRUCTION DESIGN REVIEW

This review checks the construction documents for compliance with the Middleton Hills Neighborhood Code and verifies that the previous MHARC recommendations have been incorporated. Conformity to applicable local regulations and building codes are the responsibility of the designer and/or builder.

1. Form Required: Form B - Construction Design Review Application

2. Drawings Required:

- Site Plan (1/8"=1'-0") showing:
  - North arrow.
  - Property lines with dimensions.
  - Building footprints with entry area delineated and overhangs shown as dashed lines.
  - Garden walls, fence lines, location, height and material quality of retaining walls.
  - Water, electric and sewer service.
  - Grading Plan.
  - Location, dimensions and materials for walks and drives.
  - Limits of construction activity (no construction, traffic or storage of materials will be permitted beyond these limits).
  - Exterior light locations and type.
  - Location of external equipment (electric meter), location of waste bins, etc.
- Floor Plans (1/4" = 1'-0") showing:
  - Foundation plan dimensioned.
  - Room use labeled and rooms dimensioned.
  - Wall, window and door openings dimensioned.
  - Exterior walls shown and dimensioned.
  - All overhangs of floors and roofs as dashed lines.
  - Overall dimensions.
  - Total enclosed square footage.
- Elevations & Sections
  - Each elevation at 1/4"=1'-0" with a color rendering depicting material quality of fronting street elevation.
  - Major building sections at 1/4" = 1'.
  - Typical walls from ground to ridge at 3/4" = 1' or larger.
  - Typical porch section from ground to roof at 3/4" = 1' or larger.
- Landscape Plan
  - A landscape plan including plant listing and their respective locations.
- Samples (1 set):
  - Color samples of each key building material, labeled as to specification and location

## DESIGN REVIEW PROCESS

### STEP 3. CONSTRUCTION COMMENCEMENT

Construction may begin upon receipt of Form B- Construction Design Review Application bearing the MHARC stamp of approval. The builder and or owner are responsible for obtaining all appropriate permits prior to construction from agencies having jurisdiction.

The MHARC reserves the right to inspect in the field for compliance during any stage of construction. The MHARC is empowered to enforce its policy as set forth in the Middleton Neighborhood Hills Code and Neighborhood Association's Declaration of Covenants, Conditions & Restrictions by any action, in law or equity, to ensure compliance.

### STEP 4. FINAL INSPECTION

A building may be occupied upon receipt of a municipal occupancy permit and Form C - Request for Final Inspection bearing the MHARC stamp of approval.

### STEP 5. MINOR CHANGES

It is anticipated that owners may wish to make improvements or modifications to their buildings or property during initial construction or at a future date. A change may be executed upon receipt of Form D-Application for Change(s) bearing the MHARC stamp of approval.



MIDDLETON HILLS

SUBMIT TO:  
MIDDLETON HILLS  
ARCHITECTURAL REVIEW  
COMMITTEE

6720 FRANK LLOYD WRIGHT AVE, STE 200  
MIDDLETON WI 53562  
OFFICE: (608) 836-4923  
FAX: (608) 836-9050

FOR STAMPED APPROVAL

Date Received: \_\_\_\_\_

Date Approved: \_\_\_\_\_

FORM A:

## SKETCH DESIGN REVIEW APPLICATION

LOT NUMBER: \_\_\_\_\_

Owner: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell: \_\_\_\_\_

BUILDER: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell: \_\_\_\_\_ Fax: \_\_\_\_\_

ARCHITECT/DESIGNER: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell: \_\_\_\_\_ Fax: \_\_\_\_\_

LANDSCAPE ARCHITECT: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell: \_\_\_\_\_ Fax: \_\_\_\_\_

### INFORMATION

1. Historic Interpretation      ☐ Yes      ☐ No
2. Are any variances from the Middleton Hills Neighborhood Code being requested under this application?  
   ☐ Yes      ☐ No

If yes, please describe the variance and the reason for it.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### 3. Submit 2 sets of the following drawings (please check)

- ☐ Site Plan (must be at 1/8" = 1'-0" scale)
- ☐ Floor Plans
- ☐ Roof Plan
- ☐ Elevations & Sections
- ☐ Rendered Elevation
- ☐ Landscape Concept Plan

Submitted by: \_\_\_\_\_ Date: \_\_\_\_\_

Signature: \_\_\_\_\_



MIDDLETON HILLS

SUBMIT TO:  
MIDDLETON HILLS  
ARCHITECTURAL REVIEW  
COMMITTEE

6720 FRANK LLOYD WRIGHT AVE, STE 200  
MIDDLETON WI 53562  
OFFICE: (608) 836-4923  
FAX: (608) 836-9050

FOR STAMPED APPROVAL

Date Received: \_\_\_\_\_

Date Approved: \_\_\_\_\_

FORM B:

# CONSTRUCTION DESIGN REVIEW APPLICATION

LOT NUMBER: \_\_\_\_\_

Owner: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell: \_\_\_\_\_

ARCHITECT/DESIGNER: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell: \_\_\_\_\_ Fax: \_\_\_\_\_

BUILDER: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell: \_\_\_\_\_ Fax: \_\_\_\_\_

LANDSCAPE ARCHITECT: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell: \_\_\_\_\_ Fax: \_\_\_\_\_

Submit 2 sets of the following drawings (please check):

- ☐ Site Plan
- ☐ Floor Plans
- ☐ Roof Plan
- ☐ Elevations & Sections
- ☐ Samples & Cut Sheets
- ☐ Rendered Elevation
- ☐ Landscape Plan

Submitted by: \_\_\_\_\_ Date: \_\_\_\_\_

Signature: \_\_\_\_\_



MIDDLETON HILLS

SUBMIT TO:  
MIDDLETON HILLS  
ARCHITECTURAL REVIEW  
COMMITTEE

6720 FRANK LLOYD WRIGHT AVE, STE 200

MIDDLETON WI 53562  
OFFICE: (608) 836-4923  
FAX: (608) 836-9050

FOR STAMPED APPROVAL

Date Received: \_\_\_\_\_

Date Approved: \_\_\_\_\_

FORM C:

## APPLICATION FOR FINAL INSPECTION

LOT NUMBER: \_\_\_\_\_

Owner: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell: \_\_\_\_\_

BUILDER: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell: \_\_\_\_\_ Fax: \_\_\_\_\_

### CERTIFICATION:

I do hereby certify in good faith that the contracted structure on said Lot conforms to the Codes and the Construction Documents as approved by the MHARC. All site work, landscaping, cleaning, removal of temporary utilities, and repair of damage to right-of-way and common areas has been implemented.

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_

### APPROVAL:

MHARC date of  
Final Inspection: \_\_\_\_\_

MHARC Approval Signature: \_\_\_\_\_



MIDDLETON HILLS

SUBMIT TO:  
MIDDLETON HILLS  
ARCHITECTURAL REVIEW  
COMMITTEE

6720 FRANK LLOYD WRIGHT AVE, STE 200  
MIDDLETON WI 53562  
OFFICE: (608) 836-4923  
FAX: (608) 836-9050

FOR STAMPED APPROVAL

Date Received: \_\_\_\_\_

Date Approved: \_\_\_\_\_

FORM D:

## APPLICATION FOR CHANGE(S)

LOT NUMBER: \_\_\_\_\_

Owner: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell: \_\_\_\_\_

ARCHITECT/DESIGNER: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell: \_\_\_\_\_ Fax: \_\_\_\_\_

BUILDER: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell: \_\_\_\_\_ Fax: \_\_\_\_\_

Change Description: (attach sketch of proposed change)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Reason for Change:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Submitted by: \_\_\_\_\_ Date: \_\_\_\_\_

Signature: \_\_\_\_\_



MIDDLETON HILLS

SUBMIT TO:

MIDDLETON HILLS  
ARCHITECTURAL REVIEW  
COMMITTEE

6720 FRANK LLOYD WRIGHT AVE, STE 200

MIDDLETON WI 53562  
OFFICE: (608) 836-4923  
FAX: (608) 836-9050

FOR STAMPED APPROVAL

Date Received: \_\_\_\_\_

Date Approved: \_\_\_\_\_

FORM E:

# LANDSCAPE/FENCE DESIGN REVIEW APPLICATION

LOT NUMBER: \_\_\_\_\_

Owner: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell: \_\_\_\_\_

BUILDER: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell: \_\_\_\_\_ Fax: \_\_\_\_\_

LANDSCAPE ARCHITECT: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell: \_\_\_\_\_ Fax: \_\_\_\_\_

## LOTS ADJACENT TO AN ALLEY PLEASE NOTE:

The rear property line is located approximately eight feet from the edge of alley pavement. This area is considered the alley terrace. It is owned by the MHNA, however the property owner is responsible for the maintenance. This area should remain clear for passing vehicles, snow plows, snow storage, and garbage trucks. It is recommended that a two to three foot gravel shoulder along the edge be installed for ease of maintenance. Any plant materials located in this area are at the risk of the homeowner.

Please check:

- ☐ Landscape Plan submitted (2 sets of plans)
- ☐ Fence Plan submit site plan, elevation or picture of fence, height of fence

Submitted by: \_\_\_\_\_ Date: \_\_\_\_\_

Signature: \_\_\_\_\_



MIDDLETON HILLS

SUBMIT TO:  
MIDDLETON HILLS  
ARCHITECTURAL REVIEW  
COMMITTEE

6720 FRANK LLOYD WRIGHT AVE, STE 200  
MIDDLETON WI 53562  
OFFICE: (608) 836-4923  
FAX: (608) 836-9050

FOR STAMPED APPROVAL

Date Received: \_\_\_\_\_

Date Approved: \_\_\_\_\_

FORM F:

## COLORS/MATERIALS DESIGN REVIEW APPLICATION

LOT NUMBER: \_\_\_\_\_

Owner: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell: \_\_\_\_\_

ARCHITECT/DESIGNER: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell: \_\_\_\_\_ Fax: \_\_\_\_\_

BUILDER: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell: \_\_\_\_\_ Fax: \_\_\_\_\_

### Please Check:

- ☐ Materials Submitted
- ☐ Colored Elevation Submitted

Roof Color: \_\_\_\_\_ Mfr: \_\_\_\_\_

Siding Material: \_\_\_\_\_

Body Color: \_\_\_\_\_

Trim Color: \_\_\_\_\_

Window Color: \_\_\_\_\_ Mfr: \_\_\_\_\_

Chimney Material: \_\_\_\_\_

Submitted by: \_\_\_\_\_ Date: \_\_\_\_\_

Signature: \_\_\_\_\_

## II. REVIEW COMMITTEE

### A. FUNCTION OF THE MIDDLETON HILLS ARCHITECTURAL REVIEW COMMITTEE (MHARC)

To encourage the architectural harmony of Middleton Hills, the developer and all property owners are bound by regulations defined in the Neighborhood Association's Declaration of Covenants, Conditions and Restrictions, the Middleton Hills Neighborhood Code, and the design review process. To that end, no structure shall be erected or altered until both Municipal and MHARC approvals have been obtained.

### B. SCOPE OF RESPONSIBILITY

The MHARC has the right to exercise control over all construction in Middleton Hills. It will also review all homeowners' alterations and modifications to existing structures (including but not limited to walls, painting, renovations, and landscaping).

### C. ENFORCING POWERS

Should a violation occur, the MHARC has the right to an injunctive relief, which requires the owner to stop, remove, and/or alter any improvements in a manner that complies with the standards established by the MHARC. Approval by the MHARC does not relieve an owner of his/her obligation to obtain any government approvals. If such approvals are required and are not obtained by the owner, the MHARC and/or the applicable government agency may take whatever actions are necessary against the owner to force compliance.

### D. COMMITTEE MEMBERS

The MHARC shall consist of individuals appointed by the President of the Association with concurrence from the majority of the Board. The MHARC may consist of a developer's representative, a neighborhood planner, an architect, and a landscape architect. The MHARC may appoint an administrator to handle the day-to-day responsibilities of processing submissions and coordinating with owners.

### E. LIMITATIONS OF RESPONSIBILITIES

The primary goal of the MHARC is to review the submitted applications, plans, specifications, materials, and samples in order to determine if the proposed structure conforms with the Middleton Hills Neighborhood Code. The MHARC does not assume responsibility for the following:

1. The structural adequacy, capacity, or safety features of the proposed structure or improvement.
2. Soil erosion, non-compatible or unstable soil conditions.
3. Compliance with any or all building codes, safety requirements, and governmental laws, regulations or ordinances.
4. The performance or quality of work by any contractor.